

TOWN OF MILTON DEVELOPMENT REVIEW BOARD

Planning & Economic Development Department
43 Bombardier Road
Milton, VT 05468-3205
www.miltonvt.org
(802) 893-1186



STAFF REPORT

Hearing Date: July 9, 2015	
Case No: 2015-20	
Application(s)/Requested Action: Site Plan	
Existing Use: None	
Proposed Use: Truck Stop	
Application Received: June 8, 2015	
Application Deemed Complete: June 10, 2015	
Staff Report Finalized: July 3, 2015	
Applicant(s): T. Chase Investments LLC c/o Neagley & Chase Construction Co. 66 Bowdoin Street, Suite 100, S. Burlington, VT 05403 TChase@neagleychase.com 802.658.6320	Owner(s): Same
Engineer/License: Andrew Rowe, P.E. Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Dr., Essex VT 05452 802.878.4450	Surveyor/License: None
E-911/Postal Address: None, Catamount Drive (Lot 14 B of the Catamount Industrial Park)	
Tax Map, Parcel(s): 3, 8-145	
School Parcel Account Number(s) (SPAN): 11527	
Deed(s): Book 359, 130	
Existing Size: 3.34 acres	
Zoning District(s): "General Industrial "I2"	
Comprehensive Plan Planning Area: Catamount	
Location: Corner Lot at corner of Catamount & Industrial Drive	

Comments: Jacob Hemmerick, Town Planner; and Amanda Pitts, Zoning Administrator, herein referred to as Staff, have reviewed the application, materials and plans submitted and have the following comments. The numbered items below request points of clarification, frame discretionary decisions for the Milton Development Review Board (DRB) and pose conditions of approval.

Applicant: This matter comes before the Milton Development Review Board (DRB) on the application of T. Chase Investments LLC, referred to hereafter as the "Applicant".

Application: The Applicant requests Site Plan approval.

Application Submission: The application was submitted on June 8, 2015. Staff deemed the application complete on June 10, 2015. A copy of the application and all supporting materials are maintained in the file and available for public inspection during Planning and Economic Development Department business hours.

Ownership: The site is owned by T. Chase Investments, LLC and a deed is recorded in the Town's Land Records in Volume 359, Page 130. The owner is signatory to the application.

General Jurisdiction: Land development is subject to the control of the Town of Milton pursuant to, but not limited to, the following: The Vermont Planning and Development Act (Act); The Town of Milton Zoning Regulations (ZR), effective January 5, 2015; and The Town of Milton Subdivision Regulations (SR), effective June 28, 2010.

Specific Jurisdiction: ZR110 states, "No LAND DEVELOPMENT shall be undertaken or effected except in conformance with the applicable provisions of these Regulations. No land, building or other STRUCTURE shall be used for any purpose except as provided in these Regulations."

ZR130 states, "In accordance with Section 1000 of this Ordinance, no LAND DEVELOPMENT, excavation or construction shall be started on any land parcel or STRUCTURE and no EXPANSION, ALTERATION or change of USE shall be started within any existing STRUCTURE without a Zoning Permit issued by the Zoning Administrator."

ZR170 states: "The following requirements and reviews shall be fulfilled by all applicants before a Zoning Permit is granted, unless specifically exempted in this Ordinance:

- (1) Sewage Disposal - Section 570
- (2) Roads and Drives - Section 590
- (3) Site Plan Review - Section 800

ZR800 states: "Site Plan approval, granted in accordance with this Section by the Milton Development Review Board, shall be required before a Zoning Permit is issued for any USE in any district with the exception of SINGLE FAMILY DWELLINGS, DUPLEXES, and TRIPLEX – OWNER OCCUPIED on single lots, ACCESSORY residential STRUCTURES, and all agricultural USES."

Notice/Warning of Hearing: Public notice was issued by the Department of Planning and Economic Development for the hearing according to Vermont Statutes Annotated Chapter 24 §4464.

Application Exhibits: The following exhibits were submitted with the application and attached to the Staff Report:

- a. Application Cover Letter from Andrew Rowe of LD dated June 8, 2015
- b. DRB Application Form
- c. Stormwater Management Narrative by Lamoureux & Dickinson dated June 8, 2015
- d. Adjoining Property Owners List

- e. Landscape Estimate dated June 2015
- f. Traffic Estimate by Andrew Rowe dated June 5, 2015
- g. Proposal Plan 3 (elevations/floorplan) PR100 last revised May 15, 2015 by Neagley and Chase
- h. Site & Landscaping Plan (Sheet 1) by Lamoreux & Dickinson dated June 1, 2015
- i. Grading Plan (Sheet 2) by Lamoreux & Dickinson dated June 1, 2015
- j. Grading Plan (Sheet 2) by Lamoreux & Dickinson dated June 1, 2015
- k. Erosion Prevention and Sediment Control Plan (Sheet 3) by Lamoreux & Dickinson dated June 1, 2015
- l. Sitework Details and Specifications (Sheet 4) by Lamoreux & Dickinson dated June 1, 2015
- m. Stormwater Details and Specifications (Sheet 5) by Lamoreux & Dickinson dated June 1, 2015
- n. Lighting Plan by (Sheet 4) by Lamoreux & Dickinson dated June 8, 2015

Staff Report Exhibits: The following exhibits were attached to the Staff Report:

- a. Public Works Technical Advisory Committee (TAC) Review dated June 25, 2015;
- b. Fire TAC Review dated June 30, 2015;

The other departments had no comments or concerns.

Waivers Requested: The Applicant requested no waivers.

DRB Approval History: Staff did not locate any prior site approvals during a cursory search. Sheet 1 notes that the property lines are based upon the subdivision Plat for Catamount Industrial Park, last revised on 9/15/08 and recorded in Map 271C of the Land Records.

Property Description: The site is located at Lot 14B of the Catamount Industrial Park, described as Tax Map 3, Parcel8-145, with a respective School Parcel Account Number (SPAN) 11527.

Size/Area: The Applicant and Grand List document the lot's area as 3.34 acres.

Zoning District & Planning Area: The site is located within the General Industrial "I2" Zoning District described on the Town of Milton Zoning Map, last amended August 22, 2011, on record and display at the Municipal Offices and available on the Town's website.

Comprehensive Planning Area: The site is located within the Catamount Planning Area, as delineated in Map 2 of the 2013 Comprehensive Plan.

Physical Characteristics/Natural Features: The site is very flat, undeveloped, with mostly open meadow. The eastern boundary has some trees and vegetation. The southwestern corner has an embankment from the former Catamount Stadium Race Track, an element of cultural/historic heritage unique to Milton. The site drains to the southwest, and is part of the Allen Brook watershed, which drains directly to Lake Champlain. The site hosts no significant natural features.

Existing Use/Structures: There are no existing uses or structures.

Surrounding Use/Structures: The lot is located in the Catamount Industrial Park and surrounded by industrial uses and undeveloped lots.

Proposed Use: The proposed use is a trucking facility for inspecting washing and storing trucks with associated office/dispatch space and a driver's lounge. Staff finds that ZR492.17 lists "truck stop" as a permitted use in the I-2 District, and is defined as:

Any building, premises, or land in which or upon which a business, service, or industry involving the maintenance, servicing, storage, or repair of commercial vehicles is conducted or rendered, including the dispensing of motor fuel or other petroleum products directly into motor vehicles and the sale of

accessories or equipment for trucks and similar commercial vehicles. A truck stop also may include overnight accommodations and restaurant facilities primarily for the use of truck crews. This use is not intended to include MOTELS.

Anticipated Usage: 5 full-time employees and 18 drivers, with hours of operation between 8 a.m. and 5 p.m. for office employees and 6 a.m. to 6 p.m. for drivers.

Proposed Improvements:

Buildings/Structures: 10,100 square foot building

Site Circulation: internal driveways with sidewalk along front parking lot to entrance

Traffic:

Parking: 25 parking spaces, with 2 ADA spaces; gravel area for trailer parking

Lighting: 7 pole-mounted and unknown amount of wall-mounted LED cutoff fixtures

Signage: none

Solid Waste Management: screened trash and recycling area

Stormwater/Snow Management: on-site infiltration to catch 1.55 acres of impervious area

Landscaping/Value: variety of trees and shrubs valued at \$20,820

Proposed Access: The proposal includes two highway accesses from Catamount Drive.

Existing Utilities: None.

Proposed Utilities: The project will be served by municipal water and sewer. Buried gas, electric, and communication lines are shown on the plans.

Existing Restrictions or Covenants: Catamount Industrial Park has an association. A utility easement 20 feet in width is shown in the southeast corner of the site. A sewer easement to the Town of Milton is shown on the north boundary of the site.

Proposed Restrictions or Covenants: None shown.

GENERAL PROVISION REVIEW

ZR150 Dimensional Requirements: "Every USE involving the construction, reconstruction, conversion, structural ALTERATION, relocation or enlargement of a STRUCTURE must comply with the minimum LOT AREA, FRONTAGE, SETBACK areas and all other requirements specified in these Regulations for the district in which the USE occurs. A summary district dimensional table is located immediately following Articles III and IV, District Regulations"

I-2 Zoning District, ZR394	Required	Existing or Proposed
Minimum LOT AREA (sq. ft.)	100,000	Approx. 1,481,040
Minimum Road FRONTAGE (linear ft.)	200	approx. 718
Minimum FRONT SETBACK (linear ft.)	50	>50
Minimum SIDE SETBACK (linear ft.)	35	>35
Minimum REAR SETBACK (linear ft.)	35	>35
Maximum LOT COVERAGE (%)	75	46.4
Maximum HEIGHT (ft.)	35	24

Staff finds that the existing lot is a conforming lot. Staff finds that the proposed improvements conform to the dimensional requirements above.

ZR160: Like Kind Quality: "The following standards shall apply: LIKE KIND QUALITY Standard: "Like kind quality" is a suitable standard in historic areas or other established neighborhoods. In emerging areas and in locations where future plans differ from existing development, quality of a development may be judged in relation to the standards of an approved Town Core Master Plan." Staff finds that the proposal is of a like kind quality with the existing development.

ZR 570, Sewage Disposal: "No building or STRUCTURE shall be erected or altered unless an appropriate sewage disposal system is provided in compliance with all applicable regulations of the State of Vermont, or other governmental authorities."

1. A Town waste/sewer permit shall be required prior to being eligible for a zoning permit per ZR570.
2. A State water/wastewater permit shall be required prior to being eligible for a zoning permit per ZR570

ZR590, Roads and Drives: " All roads and drives shall conform to the requirements of this Section."

ZR593.2 Driveway Specifications: The section states,

3. DRIVEWAYS must be built to the DRIVEWAY specifications as defined in the Public Works Specifications.

ZR594, Local Highway Access Permit: "No Zoning Permit shall be issued for the construction of a PRIVATE ROAD or DRIVEWAY which intersects a Town or State highway without a valid Highway Access Permit in accordance with Title 19, V.S.A., Chapter 1, Section 43 and these Regulations and the Milton Public Works Specifications. A Zoning Permit may be issued by the Zoning Administrator only after completion of a Highway Access Permit application and approval by the Town Engineer or Highway Superintendent."

4. A Town Highway Access Permit shall be required prior to being eligible for a Zoning Permit per 594:

ZR595, Curb Cut Inspections: "Before a Certificate of Compliance is granted by the Zoning Administrator under Section 910, all new curb cuts or amended curb cuts to an existing PUBLIC ROAD, or DRIVEWAYS on a future PUBLIC ROAD shall be inspected by the Highway Superintendent to ensure compliance with the requirements of this Section."

5. All curb cuts shall be inspected according to ZR595 prior to the issuance of a Certificate of Compliance.

ZR560, Temporary Structures and Construction Officers or Trailers: "During the period of construction, temporary STRUCTURES, construction offices, and construction trailers used in conjunction with construction work are permitted. Such STRUCTURES as are permitted under this Section shall not be used as dwellings. Zoning Permits for such STRUCTURES shall be issued for a maximum six month period and may be renewed for an additional six months upon request."

6. Construction trailers shall be used in accordance with ZR560.

Unless otherwise stated or exempted, Staff finds that the proposal complies with the general provisions.

SITE PLAN REVIEW

ZR802.1, Conditions: "In reviewing Site Plans, the Development Review Board may impose appropriate conditions and safeguards to meet the standards of this section."

Site Plan Review Standards & Procedures: ZR802.2(a) states that the DRB "may consider the following in its review of a Site Plan application."

- **Site Circulation Safety:** Maximum safety of vehicular and pedestrian circulation on site, between the site and adjacent roads and sidewalks, and between the site and adjacent land uses
- **Circulation, Parking, Loading Adequacy:** Adequacy of traffic circulation, parking, and loading facilities.
- **Transportation Impacts:** Impacts on capacity of roadways and other transportation facilities in the vicinity.
- **Landscaping, Screening, Lighting Adequacy:** Adequacy of landscaping, screening, and outdoor lighting.
- **Municipal Service Impact:** Impacts on the Town's ability to provide adequate sewer, water, fire, police, or other municipal services and facilities.
- **Suitability for Development:** Suitability of the site for the proposed scope of development, including due regard for the preservation of existing natural and historical resources.
- **Comprehensive Plan Consistency:** Consistency with the Comprehensive Plan.

Unless otherwise stated or exempted, Staff finds that the proposal complies with the standards above.

The Applicant's Act 250 application states that the project will generate 92 total one-way trips per day with 5 AM peak hour trips and 5PM peak hour trips. Staff would encourage the Applicant to consider mounting an interpretive plaque to show due regard to the historic significance of the Catamount Stadium Race Track. Milton's Historical Society (802.893.1604) has many photographic and historical resources, and may be willing to provide the content for an installation like this.

ZR806.2, Landscape Plan Review: "The Development Review Board shall determine the appropriateness of the proposed landscaping and screening. In considering a Site Plan application, the Development Review Board may require modifications to the proposed landscaping plans in order to more fully implement the purpose of this Section." Staff generally finds that the landscaping plan is appropriate, though would encourage more year-round screening of the gravel trailer parking area, and therefore recommends the following condition:

7. The Final Plans shall revise the landscaping plan (and associated cost estimates) to minimize the visual impact of the outdoor trailer parking area on a year-round basis.

ZR806.3, Landscape Cost Estimate & Bond: The section states,

8. A landscaping surety shall be required to guarantee the completion of the approved landscaping and will be held to guarantee survival for a period of three years from installation. The surety must be established prior to the issuance of a Zoning Permit, per Zoning Regulations Section 806.3 and the Town's Policy 98-02 on *Landscape Performance Bonds*.

ZR806.4, Landscaping Planting Cost Schedule: "The Development Review Board may require landscaping in accordance with the [regulatory] schedule. The minimum planting cost shall not include the cost of seeding, mulching, sodding, etc. for lawns or grassed areas. " The applicant has proposed \$20,820 of landscaping. Staff finds that this is sufficient."

ZR806.6, Front Setback Landscaping: The section states:

9. The FRONT SETBACK area shall be landscaped in accordance with the approved Site Plans and maintained in good appearance.

ZR810/812, Parking & Loading Requirements: "The number and location of parking and loading spaces associated with any lot or USE shall comply with the following requirements. The following number of parking spaces shall be provided for each USE listed below unless waived by the Development Review Board. Where the number of parking spaces is based on GROSS FLOOR AREA, the GROSS FLOOR AREA of the entire

STRUCTURE shall be the basis for the calculation of parking requirements. If a USE is not listed below, the required parking spaces will be as required by the Development Review Board." Staff finds that the Regulations do not list a parking requirement for truck stops, and finds that 25 spaces is sufficient for the proposed use. Staff, however, finds that parking barriers between the front sidewalk and parking lot are merited to ensure that vehicles do not block pedestrian access and recommends the condition below.

10. The Final Plans shall show parking barriers between front parking lot spaces abutting the front sidewalk.

ZR813.1, Town/State Driveway Review: "As part of the Site Plan Review, the location and design of DRIVEWAYS and their intersections with STREETS or highways shall require review by the Town Engineer. Where applicable, a letter of intent shall be submitted to the Development Review Board from the Vermont Agency of Transportation. Number of DRIVEWAYS - Unless specifically approved by the Development Review Board, there shall be not more than one DRIVEWAY for each lot." The Applicant proposes two driveways, staff finds that two driveways would not create an adverse effect to the site plan standards in this location.

11. Unless specifically approved by the Development Review Board, there shall be not more than one.

ZR817.2, Walkway Requirements: "The DRB may require pedestrian walkways to facilitate pedestrian movements to shopping, schools and recreation areas." Staff finds that while the *Plan* calls for a walking path, there is no established planning basis to require a path in this location.

ZR819, Bicycle Parking Space: The plans do not show a bike rack. A bike rack is required.

12. At least one bicycle parking or storage facility shall be provided for all uses subject to Site Plan Review. Additional such facilities may be required as deemed necessary by the Development Review Board.

ZR820, Outdoor Lighting: "Outdoor lighting should be designed, installed and maintained to provide the minimum lighting necessary to ensure adequate vision and comfort in parking areas, along streets and sidewalks, and not cause glare or direct illumination onto adjacent properties or streets."

ZR820.2, Outdoor Lighting Specifications: "All lighting fixtures should be cut-off fixtures as defined by the Illuminating Engineering Society of North America (IESNA), whenever possible." The applicant did not submit lighting specifications. Staff recommends that:

13. The Final Plans shall include lighting specifications demonstrating compliance with ZR820.

ZR830, Signs: The section states,

14. No SIGN, billboard or exterior graphic display shall be permitted except as provided in this Section.

MUNICIPAL IMPACT

Technical Advisory Committee:

15. All comments by the Development Review Board Technical Advisory Committee (Public Works & Fire) and attached to the Staff Report shall be addressed in the Preliminary Plans.

COMPREHENSIVE PLAN

Zoning Relationship with the Plan: ZR802 asks that the DRB evaluate the proposal's consistency with the Comprehensive Plan. ZR100 states that the "The Regulations are designed to implement the purposes and policies set forth in the [Comprehensive Land Use Plan for the Town of Milton and the Vermont Municipal and Regional Planning and Development Act].." The Plan states the following:

9.2. Catamount Area Goals

There are two primary future land uses recommended for this section of Milton: low density clustered residential development and industrial development. The proposed uses in the Catamount Area are not intended to compete with the services and land uses planned for the Town Core Area. The Zoning Regulations were amended in 2010 to allow for certain retail uses. Only large-scale retail uses such as garden centers, construction and agricultural equipment sales, home supplies, and retail associated with manufacturing establishments are permitted so that they do not compete with the services and land uses planned for the Town Core Area.

There are three recently developed large parcels in the Catamount Area: the new Gardner's Supply distribution facility and the Highview Estates residential development on the west side of Route 7, and the Charlebois Company and Premier Coach on the east side of Route 7, adjacent to Colchester. This area is close to the Vermont Agency of Transportation maintenance facility and the Colchester Park and Ride; therefore it would be useful to establish a bike/multi-use path within this area.

Goal 9.7.1. Encourage high quality industrial development in a sub-regional growth center, which will provide greater employment opportunities and broaden the tax base.

Objective 9.7.1.a. Develop standards to enhance the appearance and quality of development in this major gateway into the Town of Milton.

Objective 9.7.1.b. Maintain buffer zones to prevent encroachment of industrial and commercial uses into the residential areas.

Goal 9.7.2. Ensure an aesthetically pleasing approach into Milton.

Objective 9.7.2.a. Develop a plan to work towards enhancing the character of Route 7.

Objective 9.7.2.b. Encourage high quality planned unit developments to cluster new housing in a way that minimizes visual impacts from Route 7.

Goal 9.7.3. Enhance multi-modal transportation opportunities.

Staff finds that this use, in this location, is consistent with the *Comprehensive Plan*.

ADMINISTRATION

Article X, Zoning Permit & Certificate of Occupancy:

16. A Zoning Permit is required and an associated Certificate of Compliance is required after construction is complete (and prior to occupation/use of the new structures).

Final Plan Submission:

17. The Applicant shall submit 3 full-sized (to scale) and 3 reduced (11 x 17) complete final plan sets depicting the requested changes. The revised plans must be deemed Final by the Town Planner prior to being eligible for a Zoning Permit from the Zoning Administrator. *The Applicant is advised to submit ONE full-sized (to scale) plan set for staff review prior to submitting all the copies of the Final Plan sets.*

State Project Review: Per 24 VSA4449 "Any application for an approval or permit and any approval or permit issued under this section shall include a statement, in content and form approved by the Secretary of Natural Resources, that State permits may be required and that the permittee should contact State agencies to

determine what permits must be obtained before any construction may commence." Staff finds that the Applicant has obtained a Project Review Sheet from the Permit Specialist in the District 4 Regional Office of the Agency of Natural Resources, provided a copy to the Town.

18. The applicant shall obtain all required State permits and approvals prior to construction.

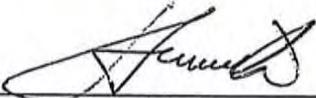
CONCLUDING REVIEW

19. The Applicant shall address any remaining concerns from the DRB concerning the standards above.

STAFF RECOMMENDATION

The Planning Staff recommends that the DRB **approve** the Sketch Plan for the proposed 8-lot Major Conventional Subdivision located at 159 East Road, described as SPAN# 12211, Tax Map 11, Parcel 93 with the conditions proposed above.

Respectfully Submitted:



Jacob Hemmerick, Planning Director

ATTACHMENTS:

- a. Application Cover Letter from Andrew Rowe dated June 8, 2015
- b. DRB Application Form
- c. Stormwater Management Narrative by Lamoureux & Dickinson dated June 8, 2015
- d. Adjoining Property Owners
- e. Landscape Estimate dated June 2015
- f. Traffic Estimate by Andrew Rowe dated June 5, 2015
- g. Proposal Plan 3 (elevations/floorplan) PR100 last revised May 15, 2015 by Neagley and Chase
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- m. Stormwater Details and Specifications (Sheet 5) by Lamoureux & Dickinson dated June 1, 2015
- n. Lighting Plan by (Sheet 4) by Lamoureux & Dickinson dated June 8, 2015
- o. Public Works Technical Advisory Committee (TAC) Review dated June 25, 2015;
- p. Fire TAC Review dated June 30, 2015;

COPIES TO:

1. Applicant(s)
2. Owners(s)
3. Engineer/Surveyor

FIRE DEPARTMENT REVIEW

DATE: 6/30/2015

APPLICANT NAME: Chase Investment
PLANS REVIEWED BY: C. Poirier

RECEIVED
JUN 30 2015
Planning & Economic Development
Milton, Vermont
LOCATION: Catamount Dr. Lot 148
INSPECTION: No

Code Requirements

NFPA 1 –Section 10.12 Access to Structures or Areas

The fire department having jurisdiction shall have the authority to require an access box (es) to be installed in an accessible location where access to or within a structure or area is difficult because of security. 10.12.1

1. *Access boxes shall be placed adjacent to the primary entrance to the building.*

NFPA 13 Standards for Installation of Sprinkler System

6.8 Fire Department Connections

1. *Fire department connection shall be a 4 inch storz style connection located adjacent to the primary entrance to the buildings on the North / East parking lot side.*
2. *Per Milton Public Works Specs. A Hydrant shall be located within 100 feet of a Fire Department Connection.*

Fire Department Recommendations

1. Owner shall be responsible to maintain access for emergency vehicles at all times.
2. The Fire Department reserves the right to alter or add additional comments if the applicant make any changes to the overall application.

Roger Hunt

To: Jacob Hemmerick
Cc: dkeelty@town.milton.vt.us; Nathan Lavalley (nlavalley@town.milton.vt.us); Christian Poirier; Brett Van Noordt; Planning
Subject: TAC Review for July 9 DRB Meeting

RECEIVED

JUN 25 2015

Jake,

Planning & Economic Development
Milton, Vermont

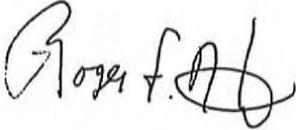
I have reviewed the proposed development projects and have the following requirements, questions and suggestions.

- Sketch Plan Application, 159 East Road, Martell & Blondin
 - The **site plan application** shall indicate that the existing structures situated on lots 2, 3, 4 & 5 will be removed.
 - The **site plan application** shall show the new private road alignment. The road shall form as close as possible a **+** alignment with Hardscrabble Road.
 - From Section 710.6 of the Public Works Specifications, the private road "shall be designed to State of Vermont A-76 standards. Town of Milton geometric standards and highway access standards apply to private roads at the intersection with public roads. No grades for private roads shall be greater than 10% as recommended in the A-76 standard. The width of the road shall be a minimum of 20 feet plus additional two (2) foot aggregate shoulders on each side."
 - The private road shall terminate in a hammerhead or adequate turn around for emergency vehicles.
 - The 99' East Road right of way may have been amended after its original dedication and shall be verified by the applicant.
 - The **site plan application** shall have a stormwater narrative.
 - The **site plan application** shall show the wetlands on lot 8 delineated.

- Site Plan Application, Catamount Drive Lot 14B, T. Chase Investments/Neagley & Chase Construction
 - The project has water & wastewater allocation, #2015-4.
 - Water
 - A hydrant will need to be located within 100' of any Fire Department Connection (FDC), *per PWS 11 20.6*
 - The existing service gate valves are old double-disk type valves and will not pass a pressure test. The applicant shall install new valves on the discharge side of the old valves at their expense. This would be a good location for the 1-1/2" curb stop instead of on the property as the valves shall be in the public right of way.
 - The Town is considering commissioning the 10" fire main into potable service. Because of this the 8" fire main entrance into the structure shall have a Double Check Detector Assembly (DCDA) backflow preventer.
 - The Town believes a 1" nutating disk water meter will be adequate for this facility. Larger nutating disk meters result in excessive unmetered water loss.
 - Wastewater
 - The proposed "Grit & Spill Containment Tank" shall also be able to serve as an oil & water separator. Maintenance records shall be maintained on site for three years.
 - Highway
 - What will the truck trip generation be? *ANSWERED JMH 6/20*
 - The commercial entrances shall comply with Drawing #7 of the Public Works Specifications and Vtrans Specification B-71.
 - No open cuts for utility crossings will be allowed. *per PWS 1040.1*
 - Stormwater & Erosion Plans – No comment.
 - Standard Details

- Water Trench – The detail shall be corrected to comply with Public Works Specifications Drawing #18. Specifically, all water and fire services SHALL be insulated where they are buried beneath paved or traveled areas regardless of depth.
- Missing water connection details, curbstop, gate valves, etc.
- Provide a water & fire service entrance detail to include the water meter and backflow prevention.

Sincerely,



Roger F. Hunt, Director
Public Works Department
Town of Milton, Vermont
www.miltonvt.org
rhunt@town.milton.vt.us
Office - (802)893-6030
Fax - (802)893-1005

RECEIVED

JUN 25 2013

Planning & Economic Development
Milton, Vermont



June 8, 2015

Jacob Hemmerick, Town Planner
Town of Milton
43 Bombardier Rd
P.O. Box 18
Milton, VT 05468

RE: Proposed Trucking Facility
Catamount Industrial Park Lot – 14B

Dear Jacob:

We are writing on behalf of T. Chase Investments, LLC to request site plan review for a proposed trucking facility in the Catamount Industrial Park. The project is located on Lot 14B, which is at the northwesterly corner of Catamount Drive and Industrial Drive. This area is within the general industrial zoning district, for which a commercial trucking facility is a permitted use.

The proposed site improvements consist of a 10,100 sf building, 25 space parking lot, paved yard, and a gravel area behind the building for trailer parking. The new building will have truck bays for inspecting, washing and storing trucks. Part of the new building will have offices, a dispatch room, and driver's lounge. There will be a maximum of 5 full time employees and 18 drivers at the new facility. Hours of operation for the facility will be 8am-5pm for the office employees and 6am-6pm for the drivers.

For optimal circulation of trucks onsite, there will be two driveway curb cuts for this project off Catamount Drive. Although this facility will initially serve NG Advantage, other clients may be developed in the future. A memo summarizing the estimated trips to be generated by the site is attached.

A total of 25 parking spaces are proposed on site. The parking area facing Industrial Drive will have 17 spaces and the area facing Catamount Drive will have 8 spaces, which include two handicap accessible spaces closest to the building main entrance. Lighting for the site will consist of 7 pole mounted LED cutoff fixtures as well as wall mounted LED light fixtures. Pole mounting heights of 20' will be used to make efficient use of the light fixtures.

The proposed development area is mapped as Adams-Windsor loams sands. There is a high potential for runoff to infiltrate onsite. The proposed stormwater management plan will infiltrate runoff in an infiltration basin near the western corner of the site. Runoff from the impervious area on site will sheet flow to a grass channel and a grass pretreatment swale where it will be directed to the infiltration basin. A swale along Catamount Drive is proposed to capture runoff from the existing roadway that flows onto the project site. This runoff from Catamount Drive will also be routed to the stormwater infiltration basin.

The project will be served by both municipal water and sewer. A request for water and wastewater allocation has been submitted to the Public Works Director.

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JUN 08 2015

www.LDengineering.com

The majority of the site is currently meadow. There is a mix of shrubs and hardwood trees along the Industrial Drive right of way. Proposed landscaping includes a combination of hardwood and soft wood trees within the perimeter setbacks. Shrubs are proposed at the front entrance to the building, as well as around the new utilities and trash enclosure. The new landscaping will satisfy section 806 of the Zoning Regulations.

A landscaping Estimate of Probable Costs is enclosed. Based upon the total construction cost, the landscaping budget requirement is \$20,300. The proposed landscaping shown on the plans has an estimated value of \$20,820.

We have enclosed four (4) full size plan sets and fourteen (14) copies of the following for your review:

- Development Review Board Application & \$328.00 application fee
- Stormwater Narrative
- Abutters list
- Landscaping cost estimate
- Trip generation memo
- Building elevations and floor plan
- Civil plan sheets 1-5 and Lighting Plan

Please contact me with any questions.

Sincerely,



Andrew Rowe P.E.

c. Tom Chase

P:\2015\15054\Town\Town sit plan narrative.docx

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Planning & Economic Development
Milton, Vermont

**TOWN OF MILTON
DEVELOPMENT REVIEW BOARD APPLICATION**

Site Plan, Site Plan Amendment, Administrative Review

Property Address:

Catamount Drive (Lot 14 B Catamount Ind. Park)

Lister's Tax Map Reference:

SPAN# 396-123-11527
Map # 3 Parcel # 8-145

Zoning District:

General Industrial District (I2)

Deed Reference:

Book # 359 Page # 130

Proposed Use:

Compressed natural gas trucking distribution center

Owner(s):

T. Chase Investments, LLC
c/o Neagley & Chase Construction Co.

Mailing Address:

66 Bowdoin Street, Suite 100

Email Address:

TChase@neagleychase.com

Telephone:

658-6320

Signature(s):

Thomas E. Chase, Pres.

Date:

June 4, 2015

Applicant(s):

T. Chase Investments, LLC
c/o Neagley & Chase Construction Co.

Mailing Address:

66 Bowdoin Street, Suite 100

Email Address:

TChase@neagleychase.com

Telephone:

658-6320

Signature(s):

Thomas E. Chase, Pres.

Date:

June 4, 2015

Site Plan approval, granted by the Milton Development Review Board (DRB) in accordance with the Milton Zoning Regulations, is required before a Zoning Permit may be issued for any use in any Zoning District with the exception of single family dwellings, duplexes, and owner-occupied triplexes on single lots, accessory residential structures, and all agricultural uses. A Minor amendment to Site Plans may be approved by the Zoning Administrator/ Acting Zoning Administrator if the amendment meets the criteria in Section 801.2.

Applications for Site Plan approval must be accompanied by four (4) sets of plans drawn to scale with fifteen (15) reductions of the plans (11" x 17" or 8.5" x 11") and supporting written materials. All Site Plans shall include the following information:

- 803.1 Project title and site address. Name and address of the Applicant, the property owner of record, and adjoining landowners. Name and address of the person or firm preparing the map. Scale of the map, north point and date.
- 803.2 Deed reference(s), Lister's tax map and parcel number, and copies of any deed restrictions or covenants.
- 803.3 All existing features, including but not limited to, boundaries, total area of the lot, contours, drainage patterns and storm drainage systems, structures and land uses, trees, shrubs, and other vegetation, wetlands, floodplains, rock outcroppings, streets (public and private) and the associated rights of way, driveways, outdoor lighting, signage, sidewalks, alternate transportation paths, easements and rights of way.
- 803.4 A survey of the entire property is required.
- 803.5 All proposed improvements, including but not limited to, structures, driveways, contours depicting site grading, off street parking and loading spaces, circulation, sidewalks, alternative transportation paths and signs.

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- 803.6 A landscaping plan showing locations of all existing and proposed plantings, a plant list with species, size and quantity. A written cost estimate of all landscaping prepared by a professional landscape architect or landscape contractor.
- 803.7 Building elevations indicating location and HEIGHT of all existing and proposed structures.
- 803.8 An outdoor lighting plan showing locations and designs of existing and proposed outdoor lighting. This shall include all flood and/or security lights, building mounted lights, and parking and streetlights. At a minimum, outdoor lighting specifications shall be provided showing photometric data, types of fixtures and lamps, and mounting height of fixtures.
- 803.9 A utility plan showing existing and proposed public water and sewer, private sewage disposal systems, wells, storm drainage facilities and fire protection details.
- 803.10 Estimate of daily and peak hour traffic generation and a report on traffic impacts at project access points, major intersections nearby and other locations.
- 803.11 Any other data or information that the Development Review Board shall view as necessary in applying the Site Plan review standards.
- Note:** Section 803.12 of the Zoning Regulations authorizes the Development Review Board to waive any of the above requirements of Site Plan review. All requests for waivers must be submitted in writing. Although this application is intended to convey the intent of Site Plan review, it does not list all requirements of the Milton Zoning Regulations, Public Works Specifications, Comprehensive Plan, or any State or Federal requirements.

Landscaping Plan Requirements:

For a complete description of the Town's landscaping requirements, please refer to Section 806 of the Zoning Regulations.

Parking and Loading Requirements:

Details regarding the Town's parking and loading requirements can be found in Section 810 of the Zoning Regulations.

Outdoor Lighting Requirements:

Details regarding the Town's outdoor lighting requirements are provided in Section 820 of the Zoning Regulations.

Sign Requirements:

The Town's sign requirements are listed in Section 830 of the Zoning Regulations.

Special Provisions Applicable to the M1, M2, M3, & M4, DB1 Zoning Districts:

If your property is located in the M1, M2, M4, or DB1 Zoning District, please see Section 804 of the Zoning Regulations for special provisions that apply to your application. If your property is located in the M3 Zoning District, please see Section 805 of the Zoning Regulations.

State Highway Requirements:

Whenever a proposed site plan involves access to a State highway, the application for site plan approval shall include a letter of intent from the Agency of Transportation confirming that the Agency has reviewed the proposed site plan and is prepared to issue an access permit under 19 V.S.A. § 1111, and setting out any conditions that the Agency proposes to attach to the section 1111 permit.

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Stormwater Management Narrative

Catamount Industrial Park Lot 14B

Catamount Drive
Milton, VT

Existing Conditions

This project is located on Lot 14B of the Catamount Industrial Park in Milton, VT and requires a Stormwater Discharge General permit for the creation of 1.55 ac of new impervious surface on an existing 3.34 acre undeveloped lot.

The receiving water Allen Brook is located on the eastern side of Route 7 across from the Catamount Industrial Park. Allen Brook is designated as a cold water fish habitat. Allen Brook (Milton) is not listed by the State of Vermont as a Stormwater Impaired watershed. All runoff from impervious surfaces on the project site will be treated in an infiltration basin (I-2). Stormwater from the site will not directly run to any waters of the State.

The project site borders Catamount Drive on the northern and western property boundaries and Industrial Drive on the eastern property boundary. There are adjacent developed lots to the east and west which do not contribute stormwater to the project site. The site is a relatively flat meadow that is currently undeveloped and was previously used for the Catamount Stadium Race track. The site slopes south westerly at about 2.8 percent and allows stormwater to infiltrate onsite and on the adjacent site to the south which is also an undeveloped meadow area. The soils onsite are mapped as Adams and Windsor loamy sands, 0-5 percent slopes, hydrologic soil group A.

Proposed Stormwater Management

The proposed project will be a new commercial trucking facility with a total impervious area of 1.55 acres. The project will consist of a single 10,100 sf building, 25 space parking lot, paved yard, and a gravel area behind the building for trailer parking. There will be two driveway curb cuts for this project. The proposed building will have a truck wash bay for which the wash water will be collected by floor drains and piped to a grit tank before it enters municipal sewer.

The project site is broken up into three stormwater subcatchment areas that flow to a singular stormwater infiltration basin near the southwestern corner of the lot adjacent to Catamount Drive. A description of the treatment for the 5 unified sizing criteria for each subcatchment area is listed below.

Subcatchment D1

Existing impervious area within subcatchment D1 consists of half the roadway width of Catamount Drive for a length of 435 feet which drains onto the project site. New impervious within D1 consists of a portion of the proposed driveway, 7 space parking lot and a small portion of the proposed building. A new swale running parallel to Catamount Drive will collect runoff originating from the existing roadway and direct the runoff to the proposed stormwater infiltration basin. Stormwater runoff from the

proposed driveway, parking lot and portion of new roof within D1 will be conveyed south westerly through a grass channel (O-3) and then to the stormwater infiltration basin. Treatment of the WQv for D1 is accomplished in the grass channel (O-3).

Subcatchment D2

Existing impervious area within subcatchment D2 consists of a 100 feet long section of Catamount Drive which drains to the project site. Proposed impervious area within D3 consists of the majority of the new paved driveway, parking lot, gravel parking area and the new building. Runoff from the building, paved areas and gravel area will be directed along the southerly edge of pavement/gravel to a stormwater pretreatment swale near the south western property line. Stormwater runoff from the gravel parking area behind the building will sheet flow south westerly towards the pretreatment swale. When the pretreatment swale reaches a water depth of 18", the treated water will overflow through a stone lined spillway to the infiltration basin. The WQv for the contributing drainage area is provided in the pretreatment swale.

Subcatchment D3

Existing impervious area within subcatchment D3 consists of a 190 feet long section of Catamount Drive that drains to the stormwater infiltration area. Stormwater from the roadway will flow over a vegetated slope before entering the infiltration basin. The remaining majority of pervious area within D3 consists of the infiltration basin.

Stormwater treatment of Rev, Cpv and the Overbank flood event (10-yr) for all impervious areas on site are met with the infiltration basin (I-2). The Extreme flood event (100-yr) is able to be waived because the total impervious surface is less than 10 acres.

Cobble Hill Holdings, Inc
91 Catamount Drive
Milton, VT 05468

Bellavance Properties, LLC
P.O. Box 398
Barre, VT 05641

PEJ, LLC
32 Catamount Drive
Milton, VT 05468

Bay State Realty, LLC
c/o Brian Shaffer, Mgr/Hood
Distribution
15 Professional Parkway
Hattiesburg, MS 39402

Kolav Incorporated
28 Industrial Drive
Milton, VT 05468

RNK Enterprises, LLC
28 Catamount Drive
Milton, VT 05468

GFA Realty, Inc.
33 Catamount Drive
Milton, VT 05468

One Forty Catamount Drive, LLC
103 Gonyeau Road
Milton, VT 05468

G.B.I.C
60 Main Street
P.O. Box 786
Burlington, VT 05402

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Planning & Economic Development
Milton, Vermont

Lot 14B - Catamount Industrial Park
Landscape Estimate of Probable Cost

June 2015

Item	Size	Unit Cost*	Quantity	Extended Cost
Trees				
Serviceberry	2" - 2 1/2" Cal	\$600	3	\$1,800
Freeman Maple	2" - 2 1/2" Cal	\$600	4	\$2,400
River Birch	2" - 2 1/2" Cal	\$560	4	\$2,240
Honey Locust	2" - 2 1/2" Cal	\$560	4	\$2,240
Northern Red Oak	2" - 2 1/2" Cal	\$600	5	\$3,000
Eastern White Pine	6 - 7 feet height	\$400	4	\$1,600
Common Hackberry	2" - 2 1/2" Cal	\$600	4	\$2,400
Shrubs				
Deciduous & Evergreen shrub	18" - 24"	\$65	36	\$2,340
Arborvitae	5'-6' height	\$280	10	\$2,800
				Subtotal \$20,820

et
Proposed construction costs TOTAL \$1,280,000

Required Landscaping Value
 \$ 250,000 @ 3% \$7,500
 \$ 250,000 @ 2% \$5,000
 \$ 780,000 @ 1% \$7,800
 TOTAL \$20,300

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Planning & Economic Development
 Milton, Vermont

To: File – Catamount Industrial Park, Lot 14 B
Date: June 5, 2015
By: Andrew Rowe

This memo is to summarize the estimated trip generation for the proposed trucking facility to be located on Lot 14B of the Catamount Industrial Park in Milton. The ITE Trip Generation Manual does not include a land use category that is representative of the proposed project. ITE Land Use 030 – Intermodal Truck Terminal is described as facilities where goods are transferred between trucks, railroads, or ports. The proposed project does not involve the storage or transfer of any materials or product on the site. The project involves construction of a building and yard for the storage of trucks and trailers. In addition to limited office space, the building includes a large garage space with an inspection bay, a wash bay, and truck storage bays. Only minor maintenance, such as light replacement or brake adjustments, is proposed onsite.

A total of 18 drivers and 5 onsite employees are proposed. Each driver will report to the site and be assigned a truck and empty trailer with destination. After inspection of the truck and trailer, the driver will leave the site for the day. At the end of the work day, the driver returns with an empty trailer.

The following average daily trips are estimated for the site:

5 onsite employees x 2 trips each	= 10 trips per day
18 drivers/employees x 2 trips each	= 36 trips per day
18 truck/trailers x 2 trips each	= 36 trips per day
10% of total for deliveries	= <u>10 trips per day</u>
	92 trips per day

The proposed hours of operation will be 6 AM – 6 PM for drivers, and 8 AM – 5 PM for onsite employees. Based upon this, only the onsite employees are expected to generate AM and PM peak hour trips. Therefore, there are 5 AM peak hour trips and 5 PM peak hour trips estimated.

This trucking facility is planned to service the compressed natural gas facility also located within the Catamount Industrial Park. Since both uses are located within the Catamount Industrial Park, the trips between the two sites represent some internal trips with regards to the cumulative trip ends tracked under the Land Use Permit for the Park. However, since the future clients and destination of the trucking facility may change, the trip ends to be allocated to Lot 14B do not include any reduction for internal trips.

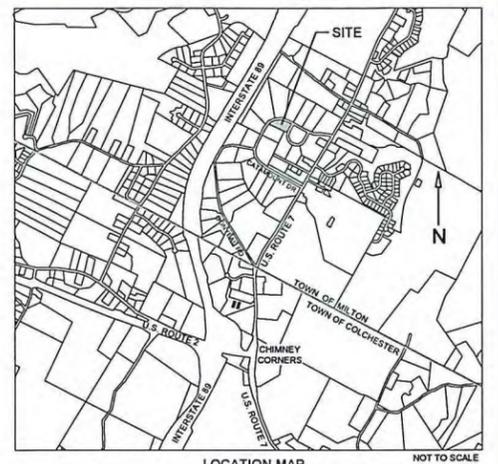
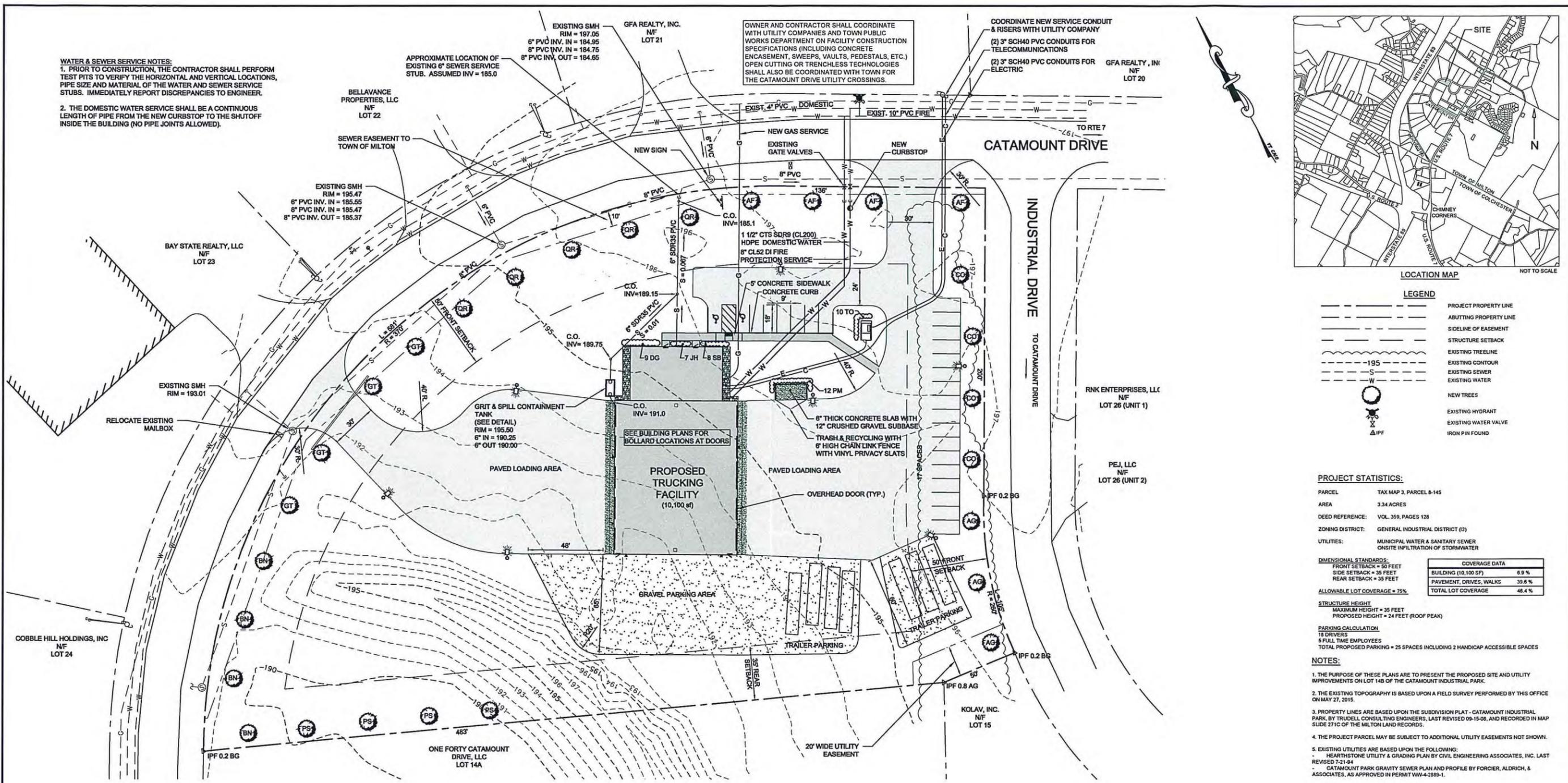
P:\2015\15054\Traffic\trip generation memo.docx

WATER & SEWER SERVICE NOTES:
 1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PERFORM TEST PITS TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS, PIPE SIZE AND MATERIAL OF THE WATER AND SEWER SERVICE STUBS. IMMEDIATELY REPORT DISCREPANCIES TO ENGINEER.
 2. THE DOMESTIC WATER SERVICE SHALL BE A CONTINUOUS LENGTH OF PIPE FROM THE NEW CURBSTOP TO THE SHUTOFF INSIDE THE BUILDING (NO PIPE JOINTS ALLOWED).

APPROXIMATE LOCATION OF EXISTING 6" SEWER SERVICE STUB. ASSUMED INV = 185.0

OWNER AND CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AND TOWN PUBLIC WORKS DEPARTMENT ON FACILITY CONSTRUCTION SPECIFICATIONS (INCLUDING CONCRETE ENCASUREMENT, SWEEPS, VAULTS, PEDESTALS, ETC.) OPEN CUTTING OR TRENCHLESS TECHNOLOGIES SHALL ALSO BE COORDINATED WITH TOWN FOR THE CATAMOUNT DRIVE UTILITY CROSSINGS.

COORDINATE NEW SERVICE CONDUIT & RISERS WITH UTILITY COMPANY
 (2) 3" SCH40 PVC CONDUITS FOR TELECOMMUNICATIONS
 (2) 3" SCH40 PVC CONDUITS FOR ELECTRIC



LEGEND

---	PROJECT PROPERTY LINE
---	ABUTTING PROPERTY LINE
---	SIDELINE OF EASEMENT
---	STRUCTURE SETBACK
---	EXISTING TREELINE
---	EXISTING CONTOUR
---	EXISTING SEWER
---	EXISTING WATER
○	NEW TREES
○	EXISTING HYDRANT
○	EXISTING WATER VALVE
○	IRON PIN FOUND

PROJECT STATISTICS:

PARCEL	TAX MAP 3, PARCEL 8-145
AREA	3.34 ACRES
DEED REFERENCE:	VOL. 359, PAGES 128
ZONING DISTRICT:	GENERAL INDUSTRIAL DISTRICT (G2)
UTILITIES:	MUNICIPAL WATER & SANITARY SEWER ONSITE INFILTRATION OF STORMWATER

DIMENSIONAL STANDARDS:	
FRONT SETBACK	= 50 FEET
SIDE SETBACK	= 35 FEET
REAR SETBACK	= 35 FEET
ALLOWABLE LOT COVERAGE	= 75%

COVERAGE DATA	
BUILDING (10,100 SF)	6.9 %
PAVEMENT, DRIVES, WALKS	39.6 %
TOTAL LOT COVERAGE	46.4 %

STRUCTURE HEIGHT:
 MAXIMUM HEIGHT = 35 FEET
 PROPOSED HEIGHT = 24 FEET (ROOF PEAK)

PARKING CALCULATION:
 18 DRIVERS
 5 FULL TIME EMPLOYEES
 TOTAL PROPOSED PARKING = 25 SPACES INCLUDING 2 HANDICAP ACCESSIBLE SPACES

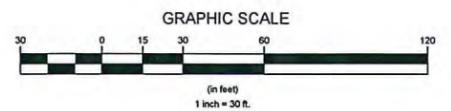
NOTES:

- THE PURPOSE OF THESE PLANS ARE TO PRESENT THE PROPOSED SITE AND UTILITY IMPROVEMENTS ON LOT 14B OF THE CATAMOUNT INDUSTRIAL PARK.
- THE EXISTING TOPOGRAPHY IS BASED UPON A FIELD SURVEY PERFORMED BY THIS OFFICE ON MAY 27, 2015.
- PROPERTY LINES ARE BASED UPON THE SUBDIVISION PLAT - CATAMOUNT INDUSTRIAL PARK, BY TRUDELL CONSULTING ENGINEERS, LAST REVISED 09-15-08, AND RECORDED IN MAP SLIDE 271C OF THE MILTON LAND RECORDS.
- THE PROJECT PARCEL MAY BE SUBJECT TO ADDITIONAL UTILITY EASEMENTS NOT SHOWN.
- EXISTING UTILITIES ARE BASED UPON THE FOLLOWING:
 - HEARTHSTONE UTILITY & GRADING PLAN BY CIVIL ENGINEERING ASSOCIATES, INC. LAST REVISED 7-21-04
 - CATAMOUNT PARK GRAVITY SEWER PLAN AND PROFILE BY FORCIER, ALDRICH, & ASSOCIATES, AS APPROVED IN PERMIT WW-4-2889-1.

APPLICANT & LANDOWNER:
 T. CHASE INVESTMENTS, LLC
 CO HEAGLEY & CHASE CONSTRUCTION COMPANY
 66 BOWDOON STREET, SUITE 100
 SOUTH BURLINGTON, VT 05403

PLANT LIST

Key	Botanical Name	Common Name	Size	Remarks
Trees				
AG	<i>Amygdalus glandulosa</i> 'Autumn Brilliance'	Servicberry	2" to 2 1/2" Cal.	B&B, 6 foot branching height
AF	<i>Acer freemanii</i> 'Autumn Blaze'	Freeman Maple	2" to 2 1/2" Cal.	B&B, 6 foot branching height
BN	<i>Betula nigra</i> 'Heritage'	River Birch	2" to 2 1/2" Cal.	B&B, 6 foot branching height
GT	<i>Gleditsia tricanthos</i> 'Skyline var. nemus'	Honey Locust	2" to 2 1/2" Cal.	B&B, 6 foot branching height
QR	<i>Quercus rubra</i>	Northern Red Oak	2" to 2 1/2" Cal.	B&B, 6 foot branching height
PS	<i>Pinus strobus</i>	Eastern White Pine	6-7 feet height	B&B
CO	<i>Celtis occidentalis</i> 'Praine Pride'	Common Hackberry	2" to 2 1/2" Cal.	B&B, 6 foot branching height
Shrubs				
DG	<i>Desfontainia gracilis</i> 'Nikko'	Do-af-Nikko euizia	18" Height	Container
JH	<i>Juniperus horizontalis</i>	Juniperus horizontalis	18" Height	Container
PM	<i>Prunella maritima</i>	Beach Plum	24" to 30" Height	Container
SB	<i>Spiraea x bumalda</i>	Bumald Spiraea	18" to 24" Height	Container
TO	<i>Thuja occidentalis</i> 'Nigra'	Dark American Arborvitae	5'-6' Height	B&B



SHEET INDEX

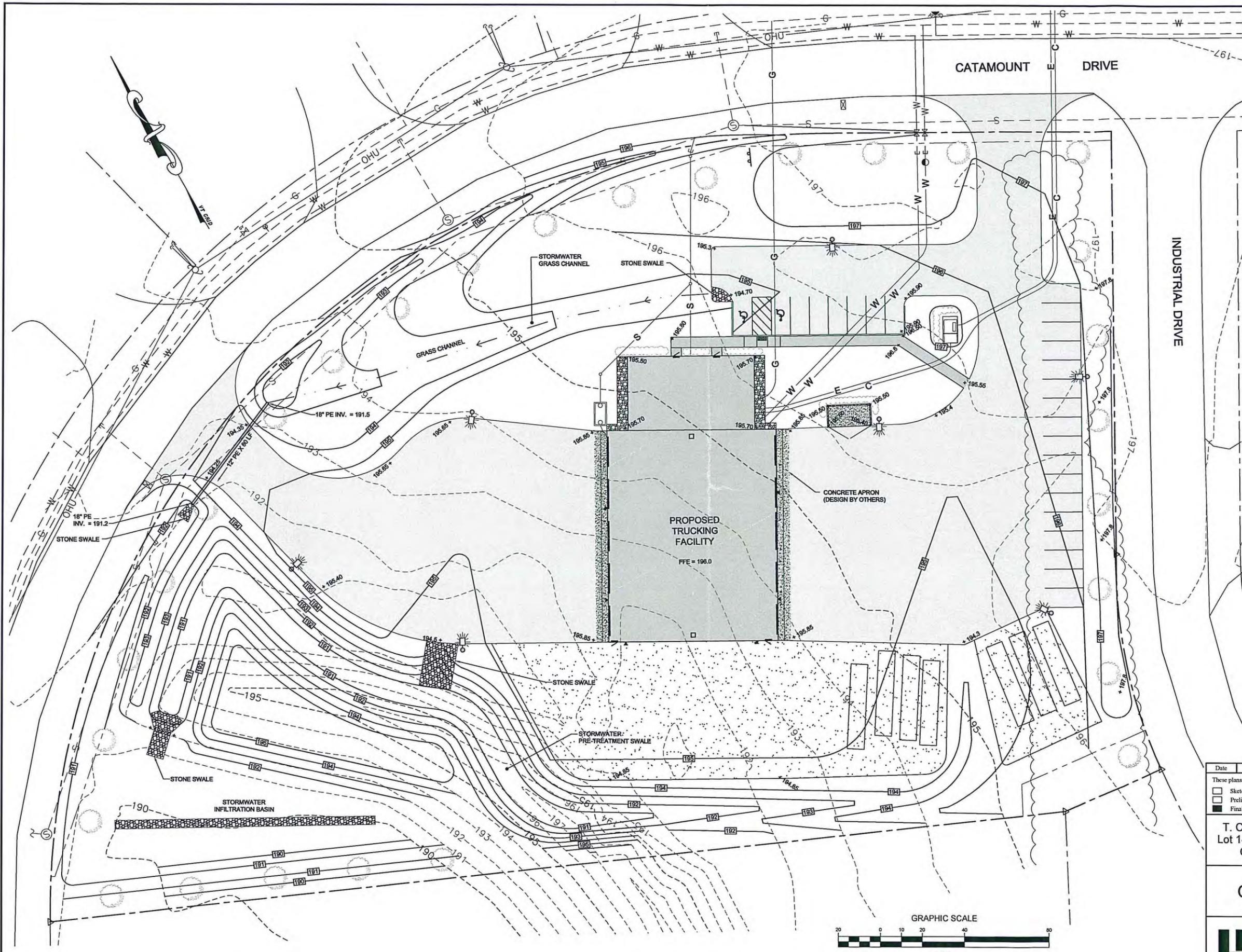
1	SITE & LANDSCAPING PLAN
2	GRADING PLAN
3	EPSC PLAN
4	SITING DETAILS & SPECIFICATIONS
5	STORMWATER DETAILS & SPECIFICATIONS
6	LIGHTING PLAN (BY OTHERS)

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THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

Planning & Economic Development
 Milton, Vermont

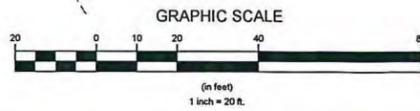
Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review	
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input checked="" type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
T. CHASE INVESTMENTS, LLC Lot 14B Catamount Industrial Park Catamount Drive, Milton		Project No. 15054 Survey L&D Design L&D
SITE & LANDSCAPING PLAN		Drawn L&D Checked ABR Date 6-1-15
Lamoureux & Dickinson Consulting Engineers, Inc. 14 Mans Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		Scale As Shown Sheet number 1



LEGEND

	PROJECT PROPERTY LINE
	ABUTTING PROPERTY LINE
	SIDELINE OF EASEMENT
	STRUCTURE SETBACK
	EXISTING TREELINE
	EXISTING CONTOUR
	EXISTING SEWER
	EXISTING WATER
	NEW TREES
	EXISTING HYDRANT
	EXISTING WATER VALVE
	IRON PIN FOUND

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 Planning & Economic Development
 Milton, Vermont



Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input type="checkbox"/>	Sketch/Concept	<input type="checkbox"/>
<input type="checkbox"/>	Preliminary	<input type="checkbox"/>
<input type="checkbox"/>	Final Local Review	<input type="checkbox"/>
<input type="checkbox"/>	Act 250 Review	<input type="checkbox"/>
<input type="checkbox"/>	Construction	<input type="checkbox"/>
<input type="checkbox"/>	Record Drawing	<input type="checkbox"/>

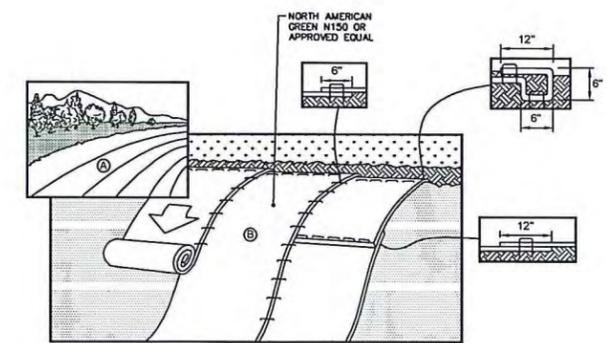
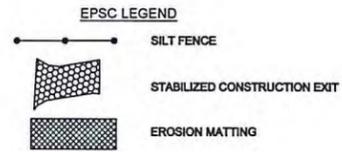
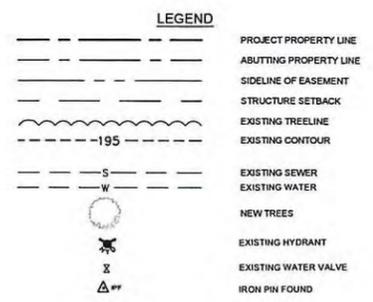
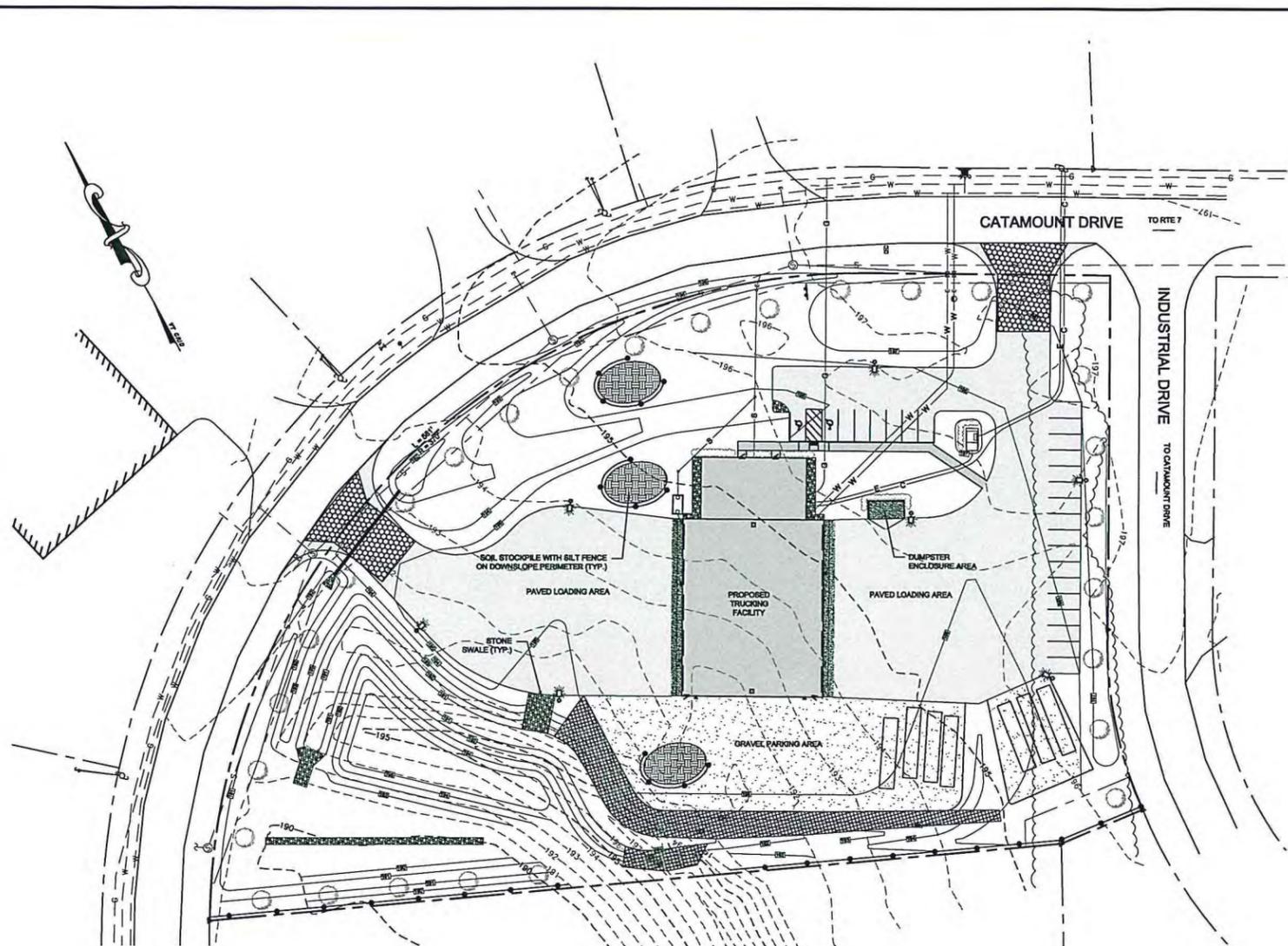
T. CHASE INVESTMENTS, LLC
 Lot 14B Catamount Industrial Park
 Catamount Drive, Milton

GRADING PLAN

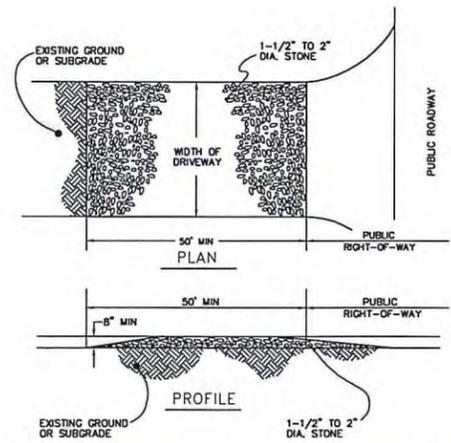
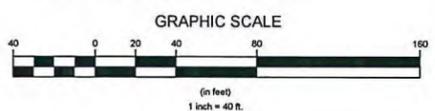
Lamoureux & Dickinson
 Consulting Engineers, Inc.
 14 Morse Drive, Essex, VT 05452
 802-878-4450 www.LDEngineering.com

Project No.
15054
 Survey
L&D
 Design
L&D
 Drawn
L&D
 Checked
ABR
 Date
6-1-15
 Scale
As Shown
 Sheet number
2

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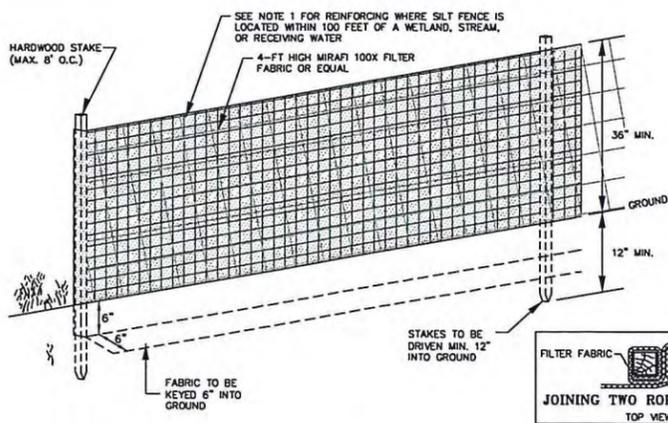


1. EROSION MATTING WILL BE USED ON SLOPES STEEPER THAN 3H:1V OR AS SHOWN ON THE PLANS.
2. PREPARE SOIL BEFORE INSTALLING MATTING, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. SOIL SURFACE SHALL BE GRADED SMOOTH WITHOUT ROOTS, STONES OR OTHER PROTRUSIONS THAT WILL PREVENT THE MATTING FROM BEING APPLIED IN FULL CONTACT WITH THE SOIL SURFACE.
3. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE MATTING IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF MATTING EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE MATTING WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF MATTING BACK OVER SEED AND COMPACTED SOIL. SECURE MATTING OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" PART ACROSS THE WIDTH OF THE MATTING.
4. ROLL THE MATTING (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. INSURE THAT THE APPROPRIATE SIDE OF THE MATTING IS AGAINST THE SOIL SURFACE. ALL MATTING MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE MANUFACTURER'S STAPLE PATTERN GUIDE FOR THE PARTICULAR PRODUCT AND APPLICATION. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE MATTING.
5. THE EDGES OF PARALLEL MATTING MUST BE STAPLED WITH APPROXIMATELY 6" OVERLAP DEPENDING ON MATTING TYPE.
6. CONSECUTIVE MATTING SPUN DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE - WITH THE UPPER MATTING PLACED OVER THE TOP OF THE LOWER MATTING) WITH AN APPROXIMATE 12" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE MATTING WIDTH.



- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT TRACKED, SPILLED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
 2. THE USE OF CALCIUM CHLORIDE OR WATER MAY BE NECESSARY TO CONTROL DUST DURING THE SUMMER.
 3. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY.

STABILIZED CONSTRUCTION EXIT
NTS



- NOTES:**
- 1) SILT FENCE INSTALLED WITHIN 100 FEET OF A WETLAND, STREAM, OR RECEIVING WATER SHALL BE REINFORCED WITH WOVEN WIRE FENCE (MIN. 14 GAUGE WIRE WITH 6" MAX. MESH SPACINGS)
 - 2) USE ONLY MANUAL METHODS OF INSTALLATION AND CLEANING WITHIN WETLAND AND BUFFER ZONE.
 - 3) PRIOR TO BEGINNING OF CONSTRUCTION OR EARTHMOVING, THE CONTRACTOR SHALL INSTALL A CONTINUOUS SILT FENCE AT THE LIMIT OF DISTURBANCE SHOWN ON THE SITE PLAN.
 - 4) FROZEN MATERIAL SHALL NOT BE USED TO KEY IN THE BOTTOM OF THE SILT FENCE. IF NECESSARY, GRANULAR BORROW SHALL BE USED BY THE CONTRACTOR TO KEY IN THE SILT FENCE RATHER THAN FROZEN NATIVE MATERIAL.
 - 5) THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF TOPSOIL STOCKPILES AND AT OTHER LOCATIONS AS NEEDED.

SILT FENCE
NTS

EROSION MATTING INSTALLATION DETAIL
NTS

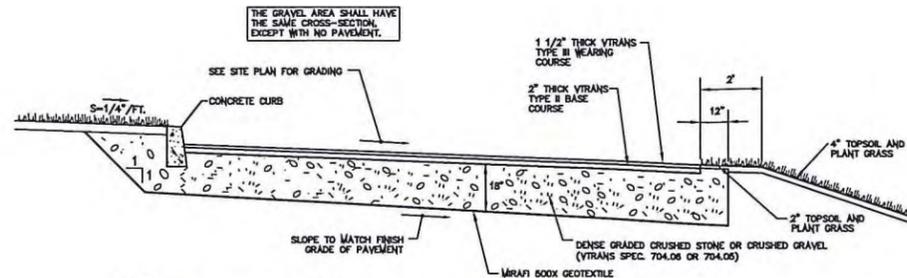
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Date	Revision	By
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<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review	
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
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T. CHASE INVESTMENTS, LLC Lot 14B Catamount Industrial Park Catamount Drive, Milton		Project No. 15054
EROSION PREVENTION AND SEDIMENT CONTROL PLAN		Survey L&D
		Design L&D
		Drawn L&D
		Checked ABR
		Date 6-1-15
		Scale As Shown
		Sheet number 3

LD Lamoureux & Dickinson
Consulting Engineers, Inc.
14 Morse Drive, Essex, VT 05452
802-878-4450 www.LDengineering.com

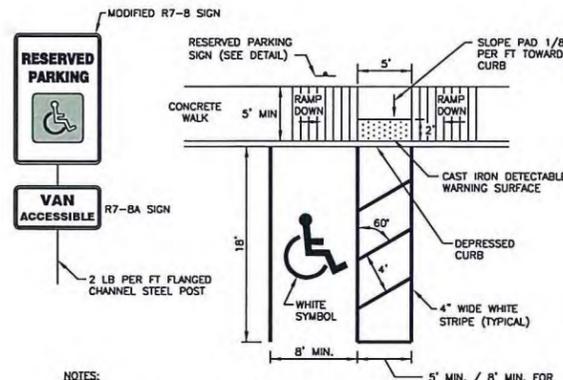
GENERAL CONSTRUCTION SPECIFICATIONS

1. ALL WORK AND MATERIALS SHALL BE APPROVED BY AND IN ACCORDANCE WITH THE LATEST VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE TOWN OF MILTON PUBLIC WORKS SPECIFICATIONS AND THESE PLANS.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES BEFORE EXCAVATION TO VERIFY THE LOCATION OF ANY UNDERGROUND LINES. THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL PERFORM EXPLORATORY EXCAVATIONS AS NEEDED TO DETERMINE THE ACTUAL LOCATION OF THE EXISTING PRIVATE WATER AND SEWER UTILITIES WITHIN THE LIMITS OF THE PROPOSED WORK.
3. UTILITIES INFORMATION SHOWN HEREON WERE OBTAINED FROM LIMITED FIELD SURVEYS AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. THE CONTRACTOR SHALL CONNECT OR RECONNECT ALL UTILITIES TO THE NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT AND STRUCTURES NECESSARY TO CONSTRUCT THIS PROJECT UNLESS OTHERWISE NOTED ON THESE PLANS. THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIAL, DEBRIS AND TRASH FROM THE SITE UPON COMPLETION OF CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE OWNER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR A SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY BY THE OWNER, THE CONTRACTOR SHALL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE OR SWEEP ASPHALT ROADS WITH A POWER BROOM AS DUST CONTROL.
6. THE CONTRACTOR SHALL ERECT TEMPORARY CONSTRUCTION SIGNS IN ACCORDANCE WITH STATE STANDARDS AND TOWN REQUIREMENTS. ADDITIONAL TEMPORARY CONSTRUCTION SIGNS SHALL BE IN PLACE WHILE ANY WORK IS UNDERWAY WITHIN THE PUBLIC RIGHT OF WAY. THE CONTRACTOR SHALL PROVIDE FLAGGERS FOR TRAFFIC CONTROL AT ALL TIMES THAT WORK IS UNDERWAY ON THE SHOULDER OR WITHIN THE PAVED PORTION OF THE PUBLIC RIGHT OF WAY.
7. ANY SURFACES, LINES, OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
8. THE HORIZONTAL AND VERTICAL SEPARATION FOR SEWER, STORM, AND WATER LINES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "TEN STATE STANDARDS - RECOMMENDED STANDARDS FOR WATER".
9. HEALTHY EXISTING TREES, AS SHOWN ON THE PLANS, ON AND ADJACENT TO THE SITE SHALL BE PROTECTED BY THE CONTRACTOR.
10. ALL FILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR, UNLESS OTHERWISE SPECIFIED.
11. AT COMPLETION OF GRADING, SLOPES, DITCHES, AND ALL DISTURBED AREAS SHALL BE SMOOTH AND FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.
12. CONSTRUCTION OBSERVATION AND CERTIFICATION IS OFTEN REQUIRED AS A CONDITION OF STATE AND LOCAL PERMITS. IT IS RECOMMENDED THAT CONSTRUCTION OF THE IMPROVEMENTS DETAILED ON THESE PLANS BE OBSERVED BY LABORER & DOCKERS CONSULTING ENGINEERS, INC. (L&D) TO DETERMINE IF THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. L&D WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS AND SPECIFICATIONS AND THE DESIGN INTENT THAT THEY CONVEY. ANY CHANGES MADE IN THE PLANS AND SPECIFICATIONS OR IN THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS WITHOUT L&D'S PRIOR KNOWLEDGE AND CONSENT, AND/OR FAILURE TO SCHEDULE OBSERVATION OF THE WORK AND TESTING IN PROGRESS.



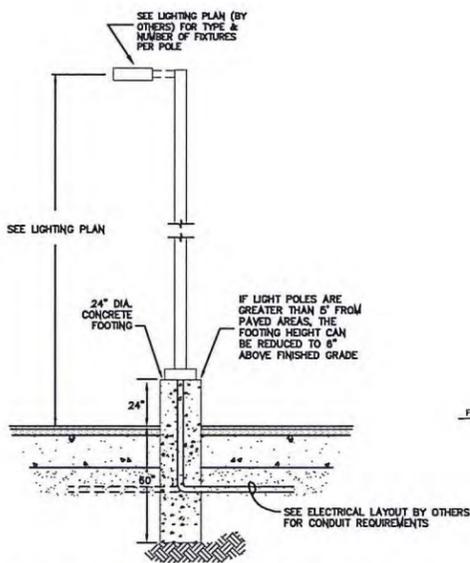
- NOTES:**
1. IN ALL AREAS WHERE UNSTABLE/UNSUITABLE SUBGRADE SOILS ARE PRESENT, THE SUBGRADE SHALL BE OVER-EXCAVATED TO REMOVE THE UNSUITABLE MATERIAL AND BACKFILLED WITH SAND BORROW OR SELECT NATIVE MATERIAL.
 2. SUBGRADE SOIL, NEW SUBBASE SAND AND GRAVEL SHALL BE ADEQUATELY COMPACTED IN LIFTS TO NOT LESS THAN 95% OF THE OPTIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D698).
 3. THE SUBGRADE SHALL BE SLOPED TO DAYLIGHT THE SUBBASE MATERIAL WHEREVER POSSIBLE.

TYPICAL DRIVE & PARKING AREA CROSS SECTION
NTS



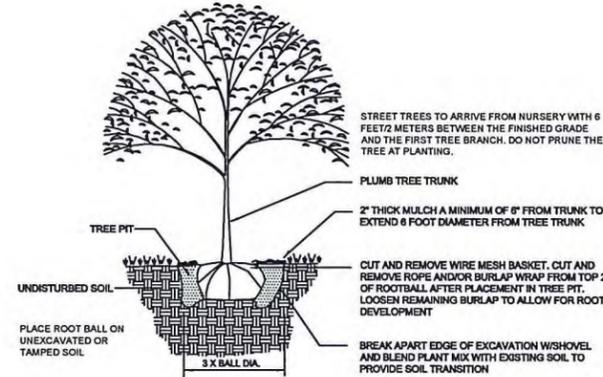
- NOTES:**
1. ALL PAVEMENT MARKINGS SHALL BE PAINTED.
 2. EACH ACCESSIBLE SPACE SHALL BE SO DESIGNATED WITH THE MODIFIED R7-8 SIGN SHOWN. VAN ACCESSIBLE SPACES SHALL HAVE THE ADDITIONAL R7-8A SIGN MOUNTED BENEATH, SUCH DESIGNATING "VAN ACCESSIBLE". THE LOWEST SIGN ON THE POST SHALL BE MOUNTED A MINIMUM OF 4 FEET ABOVE GRADE TO THE BOTTOM OF THE SIGN.

ACCESSIBLE PARKING SPACE DETAIL
NTS



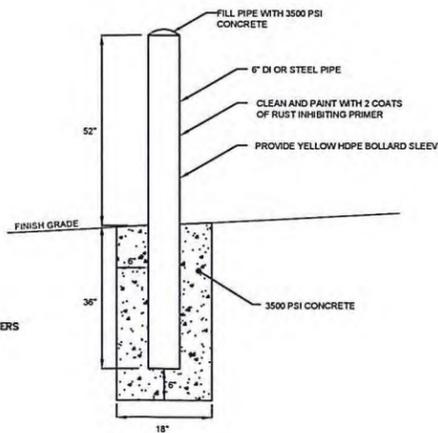
NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND/OR ELECTRICIAN ON THE ELECTRICAL DISTRIBUTION SYSTEM FOR THE PROPOSED LIGHTING.

POLE MOUNTED LIGHT DETAIL
NTS

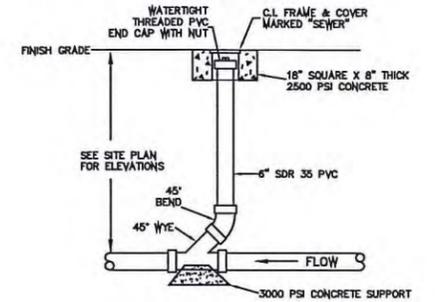


- NOTES:**
1. ALL PLANT MATERIAL SHALL CONFORM TO THE MOST RECENT VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK - ANSI Z60.1.
 2. TREES SHALL HAVE A MINIMUM 60% LIVE CROWN RATIO.
 3. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL OR MULCH.
 4. STAKING REQUIRED ONLY IN SITUATIONS WHERE TREES WILL BE SUBJECTED TO WINDY CONDITIONS AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT. STAKES SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF THE WARRANTY PERIOD.
 5. TREES SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER PLANTING.
 6. EXAMINE ENTIRE TREE AND REMOVE ALL NURSERY TAGS, TREE WRAP, ROPE, STRING AND SURVEYOR TAPE PRIOR TO PLANTING TO PREVENT GIRDLING.
 7. THERE SHALL BE NO WATERING BERM INSTALLED AROUND TREES.
 8. PLANT MIX SHALL CONSIST OF THE FOLLOWING RATIO:
3 PARTS EXISTING SOIL, 1 PART TOPSOIL.
 9. TREE PIT SHALL BE 3 TIMES AS WIDE AS ROOT BALL DIAMETER.
 10. PRUNE ONLY DEAD OR CRUSHED ROOTS AND DEAD OR INJURED BRANCHES.

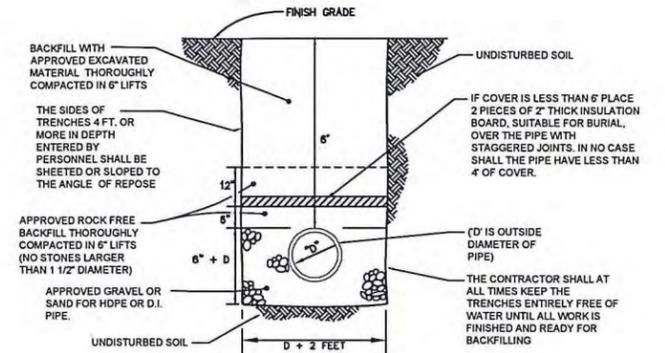
TREE PLANTING DETAIL
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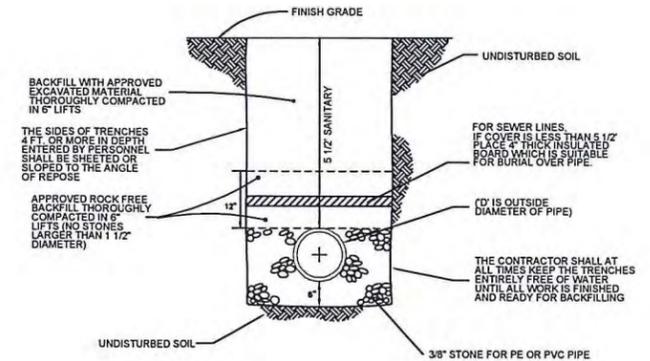
TYPICAL BOLLARD
NTS



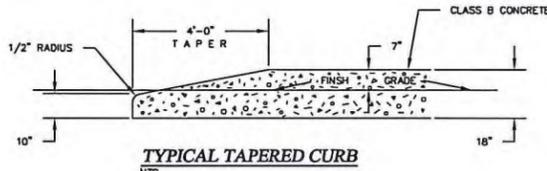
GRAVITY SEWER CLEANOUT
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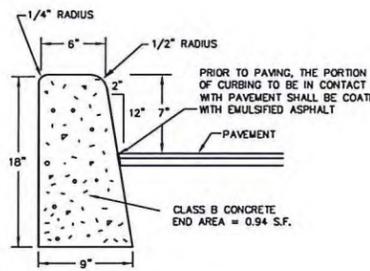
TYPICAL WATER TRENCH DETAIL
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TYPICAL STORM OR SEWER TRENCH
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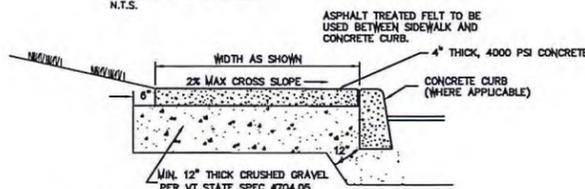


TYPICAL TAPERED CURB
NTS



- NOTES:**
- 1) CURBING SHALL BE CONSTRUCTED IN 10' SECTIONS WITH 1/8" JOINT BETWEEN SECTIONS.
 - 2) CURBING EXPANSION JOINTS SHALL BE CONSTRUCTED EVERY 20' AND SHALL BE CONSTRUCTED OF MATERIAL CONFORMING TO AASHTO DESIGNATION M-15.3 (1/2" SPONGE RUBBER OR CORK.)
 - 3) ALL CONCRETE SHALL BE AIR ENTRAINED NOT LESS THAN 5% AND NOT MORE THAN 7%.

CONCRETE CURB
N.T.S.



- NOTES:**
1. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 4,000 PSI AT 28 DAYS, AIR ENTRAINED WITH AN ADMIXTURE PRODUCING AN AIR CONTENT OF BETWEEN 5% AND 7% BY VOLUME.
 2. HALF INCH (1/2") TRANSVERSE EXPANSION JOINTS SHALL BE PLACED AT INTERVALS NOT EXCEEDING TWENTY FEET (20'). SIDEWALKS SHALL BE SCORED TO A DEPTH OF ONE INCH (1") EVERY FIVE (5) FEET. CURB AND SIDEWALK SECTIONS SHALL BE SEPARATED BY ASPHALT TREATED FELT.
 3. AFTER THE INITIAL CURING PERIOD IS OVER (APPROXIMATELY 28 DAYS), ALL EXPOSED SURFACES SHALL RECEIVE TWO COATS OF ANTI-SPALLING COMPOUND.
 4. SEE ARCHITECTURAL PLANS AND DETAILS AT BUILDING ENTRANCE LOCATIONS FOR ADDITIONAL SIDEWALK FOUNDATION AND SUPPORT DETAILS.
 5. CAST IRON DETECTABLE WARNING PLATES SHALL BE PLACED THE FULL WIDTH OF THE SIDEWALK AT THE TERMINATION OF ALL NEW SIDEWALKS.

CONCRETE SIDEWALK DETAIL
N.T.S.

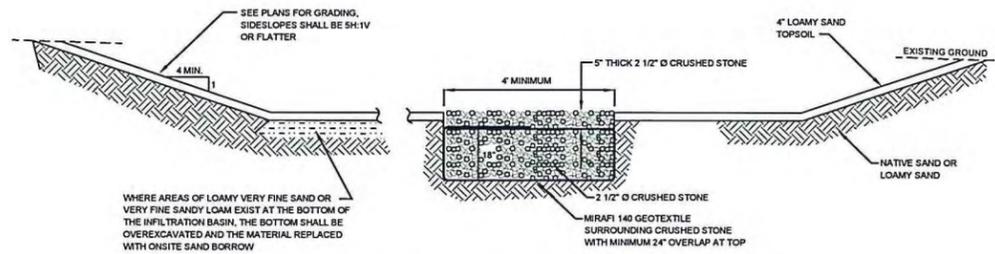
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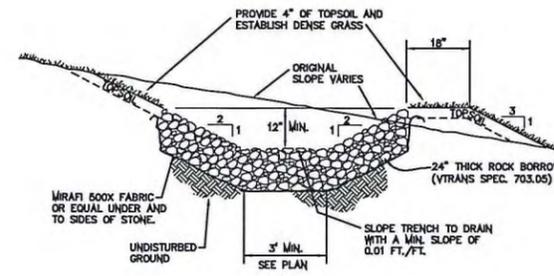
Date	Revision	By
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<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
T. CHASE INVESTMENTS, LLC Lot 14B Catamount Industrial Park Catamount Drive, Milton		Project No. 15054 Survey L&D Design L&D
SITWORK DETAILS AND SPECIFICATIONS		Drawn L&D Checked ABR Date 6-1-15
Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		Scale As Shown Sheet number 4

INFILTRATION BASIN CONSTRUCTION NOTES

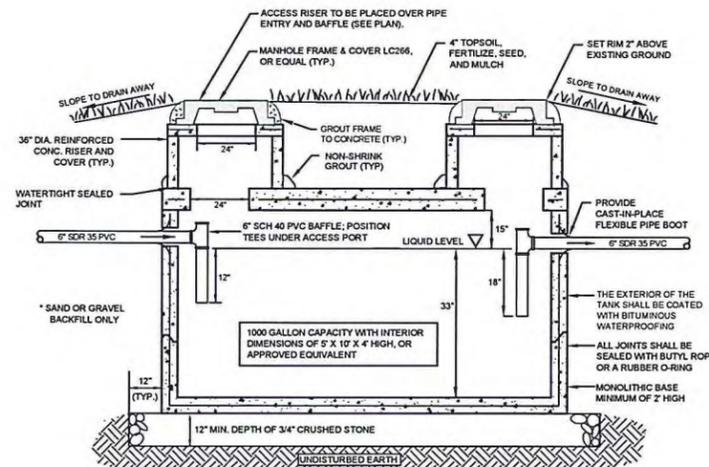
1. THROUGHOUT ALL CONSTRUCTION ACTIVITIES, THE OPERATION OF HEAVY EQUIPMENT OVER THE AREA OF THE PROPOSED STORMWATER INFILTRATION BASINS SHALL BE RESTRICTED TO PREVENT COMPACTION OF THE UNDERLYING SOILS AND REDUCTION OF THE SOIL PERMEABILITY. IF EQUIPMENT MUST BE USED IN THE INFILTRATION BASINS FOR BUILDING OR UTILITY CONSTRUCTION, A MINIMUM OF 2 FEET OF OVERBURDEN SHALL BE IN PLACE TO MINIMIZE COMPACTION OF THE UNDERLYING SOILS.
2. DURING EXCAVATION FOR THE INFILTRATION BASINS, THE CONTRACTOR SHALL TAKE CARE TO PREVENT CONTAMINATION OF THE NATIVE SOILS WITH SEDIMENT OR FILL MATERIAL. THE STORMWATER INFILTRATION BASINS SHALL NOT BE USED FOR CONCRETE WASHOUT AREAS.
3. THE INFILTRATION BASINS SHALL BE USED TO CONTROL AND INFILTRATE RUNOFF FROM THE SITE DURING CONSTRUCTION. DURING THE INITIAL EXCAVATION OF THE BASINS, THE BOTTOM SHALL BE EXCAVATED TO 6" ABOVE THE FINISH GRADE ELEVATION. AFTER CONSTRUCTION OF THE BUILDING, DRIVES, AND PARKING ARE SUBSTANTIALLY COMPLETE, THE BOTTOM OF THE INFILTRATION BASINS AND SIDESLOPES SHALL BE EXCAVATED TO THE FINISH GRADES SHOWN. THE BOTTOM OF THE BASINS SHALL BE IN NATIVE SAND. ANY ACCUMULATED SEDIMENT SHALL BE REMOVED UPON FINAL STABILIZATION OF THE UPSLOPE CONTRIBUTING AREA. IF ANY FILL MATERIAL IS REQUIRED TO FILL VOIDS, ONLY APPROVED CLEAN NATIVE SAND SHALL BE USED.
4. A MINIMUM 4" THICK LOAMY SAND TOPSOIL SHALL BE PLACED OVER THE BOTTOM AND SIDESLOPES OF THE INFILTRATION BASIN. THE CONTRACTOR SHALL APPLY SOIL AMENDMENTS AS NECESSARY, BASED UPON A SOIL TEST.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A PERMANENT VIGOROUS GROWTH OF THICK GRASS THROUGHOUT THE BASIN AND CONTRIBUTING SWALES. ALL DISTURBED AREAS SHALL BE SEED MIX AT THE SPECIFIED RATE, PRIOR TO MULCHING.



TYPICAL INFILTRATION BASIN SECTION
NTS



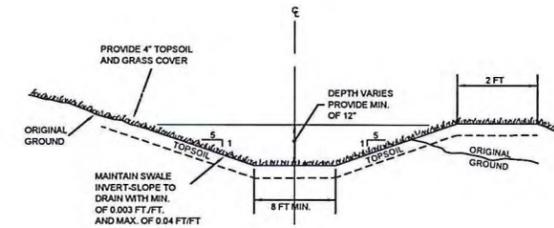
TYPICAL NEW STONE SWALE
NTS



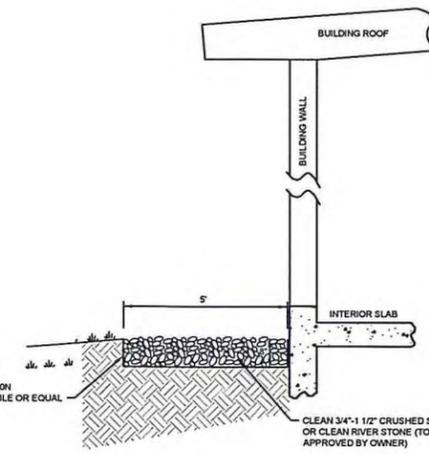
TANK SPECIFICATIONS

1. USE A WATERTIGHT, REINFORCED CONCRETE TANK CAPABLE OF WITHSTANDING H-20 WHEEL LOADING AT THE DEPTH SHOWN ON THE PLANS, AS MANUFACTURED BY CAMP PRECAST, S.D. IRELAND, OR APPROVED EQUAL. CONCRETE SHALL BE MINIMUM STRENGTH OF 5,000 PSI AT 28 DAYS. ONE (1) 24" PORT SHALL BE PROVIDED AT EACH END OF THE TANK TO PROVIDE ACCESS TO THE INLET AND OUTLET BAFFLE. THE TANK SHALL BE SET ON THOROUGHLY COMPACTED SUBBASE.
 1. SURFACE RISERS SHALL BE PROVIDED FOR ACCESS AND MAINTENANCE OF THE INLET AND OUTLET BAFFLE AND PUMPING OF THE TANK. THE SURFACE ACCESS RISERS AND LIDS SHALL PREVENT INFILTRATION BY SURFACE OR GROUND WATER.
 2. THE EXCAVATION MUST BE AT LEAST 12" WIDER AND LONGER THAN THE TANK DIMENSIONS.
 3. ALL PIPE CONNECTIONS SHALL BE WATERTIGHT.
 4. BACKFILL SIDES AND TOP OF TANK WITH SAND OR GRAVEL. ALL BACKFILL AROUND THE TANK SHALL BE THOROUGHLY COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO-T-99 STANDARD PROCTOR.
 5. THE STRUCTURE SHALL BE TESTED IN THE PRESENCE OF THE ENGINEER FOR EXFILTRATION BY FILLING THE STRUCTURE WITH WATER LEVEL EXTENDING INTO THE ACCESS RISERS. A STABILIZATION PERIOD OF 1 HOUR SHALL BE PROVIDED TO ALLOW FOR ABSORPTION. AT THE END OF THE STABILIZATION PERIOD THE STRUCTURE SHALL BE REFILLED IF NECESSARY AND THE TEST PERIOD OF 24 HOURS SHALL BEGIN. AT THE END OF THE TEST PERIOD, THE VOLUME OF WATER CHANGE SHALL BE MEASURED. THERE SHALL BE NO VISIBLE OR MEASURABLE EXFILTRATION OR INFILTRATION OR THE TEST FAILS. IF THE TEST FAILS, THE CONTRACTOR SHALL REPAIR OR WATERPROOF AND RETEST.
- ALTERNATELY, THE CONTRACTOR MAY CHOOSE TO TEST THE STRUCTURE USING THE VACUUM TEST METHOD. A MINIMUM VACUUM OF 4" MERCURY SHALL BE APPLIED TO THE TANK FOR A 2 MINUTE TEST PERIOD. A SUCCESSFUL TEST SHALL HAVE A LOSS NOT EXCEEDING 90% OF THE BEGINNING VACUUM MEASUREMENT.

GRIT AND SPILL CONTAINMENT TANK
NTS



TYPICAL GRASS CHANNEL
NTS

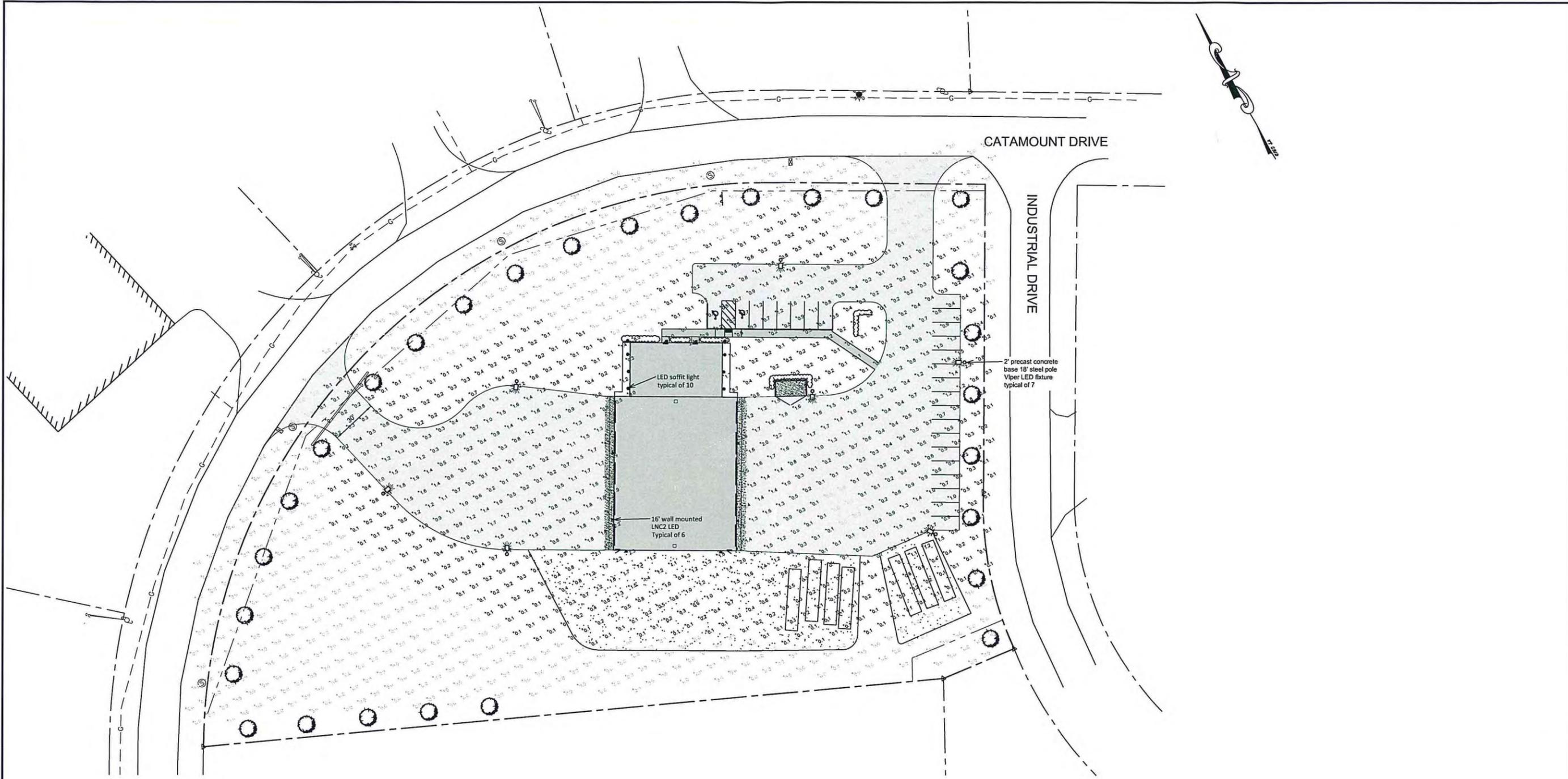


DRIP EDGE
NTS

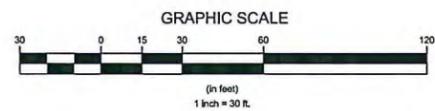
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Milton, Vermont

Date	Revision	By
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<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
T. CHASE INVESTMENTS, LLC Lot 14B Catamount Industrial Park Catamount Drive, Milton		Project No. 15054
STORMWATER DETAILS AND SPECIFICATIONS		Survey L&D
		Design L&D
		Drawn L&D
		Checked ABR
		Date 6-1-15
		Scale As Shown
		Sheet number 5
Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		



- Notes:**
1. Pole lights are Beacon Viper VPS-22NB 50 watts
 2. Wall lights are Hubbell LNC2 12LU 29 watts
 3. Soffit lights are 15 watt LED can lights
 4. Paving and gravel lighting power density is .0113 w/ft²
 5. Pole lighting fixtures are dual drivers, one set to be on dusk to dawn, the second dusk to 11 PM.
 6. Soffit lighting is Dusk to 11 PM
 7. The foot candle levels displayed on this plan were calculated by Visual lighting program from commercially available fixture .ies files.
 8. Value spacing is a 10 foot square grid, on the ground.



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 Milton, Vermont

T. CHASE INVESTMENTS, LLC Lot 14B Catamount Industrial Park	Date 6-8-15
	Scale As Shown
LIGHTING PLAN	Sheet number 6

1 **TOWN OF MILTON DEVELOPMENT REVIEW BOARD**
2 **REGULAR MEETING MINUTES**
3 **Thursday, June 25, 2015**

4 Municipal Building Community Room
5 43 Bombardier Road ♦ Milton, VT 05468
6 802.893.1186 ♦ www.miltonvt.org

7
8 **Members Present:** Bruce Jenkins, Vice-Chair & Acting Chair; Thomas Cole, Clerk; David
9 Conley; Henry Bonges; and Clayton Forgan.

10 **Members Absent:** None.

11 **Staff Present:** Jacob Hemmerick, Planning Director; and Amanda Pitts, Zoning Administrator.

12 **Others Present:** Please see the attached file.

13
14 **CALL TO ORDER**

15 Mr. Jenkins called the meeting to order at 7:02 p.m.

16
17 **ADDITIONS TO/DELETIONS FROM THE AGENDA**

18 None.

19
20 **PUBLIC FORUM**

21 None.

22
23 **PUBLIC HEARINGS ON APPLICATIONS**

24 The DRB opened the following hearing at 7:02 p.m.

25
26
27 **Variance Application – Green Field Way – Green Field Homeowners Inc.,**

28 **Owners/Applicants.** The Applicants requested a one-year Variance according to Section 1020
29 and 1070 of the Zoning Regulations in order to be able to construct and formalize dwelling unit
30 egress and HVAC structures restricted by the Regulations and the 2009 DRB Final Plan & Site
31 Plan Decision and Plat for the Type "A" Planned Residential Development. The Plat restricts the
32 placement of "structures" outside of the defined "building envelopes" (subsequently redefined as
33 "buildable envelopes") and within a designated common area, "open space", "buffer strip" (within
34 which no "structures" other than fences may be placed) according to the Sections 844.3, 844.7(a)
35 and 1010 of the March 26, 2007 Regulations (active at the time of approval), as well as Sections
36 856, 856.3(a) and 1110 of the (current) January 5, 2015, Regulations . The subject development is
37 located at Green Field Way, described as SPAN #10148, Tax Map 25, Parcel 1. The subject
38 property contains a total of approximately 1.92 acres and is located within the "Checkerberry "M4"
39 Zoning District.

40
41 Mr. Jenkins administered the oath to Interested Persons and asked if there were any objections to
42 reading through the numbered items.

43
44 Hemmerick noted a mistake in the Staff Report on page two, in the last sentence of the last
45 paragraph of the background section. He said that a "not" was omitted and the sentence should
46 read, "This does not, however, provide a basis for increasing non-conformities, which (in this
47 case) must undergo variance review."

48
49 Jay Nadeau, Greenfield Way Homeowners Association President, represented the Applicant at the
50 hearing.

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In response to item number:

1. Nadeau agreed the Final Site Plans shall show all existing and proposed dwelling unit ingress/egress and HVAC structures; new structures shall be sized with the minimum dimensions necessary to safely provide reasonable egress from the porches and no patios may be installed.

Conley asked how high the deck is from the ground. Nadeau answered that the decks/porches have varying elevations (approximately 3 to 9 feet), and that some units already have stairway egress from their porches. Nadeau said that he, personally, is not interested in constructing steps, while other residents of the 12-unit development are.

2. Nadeau agreed a Zoning Permit is required and an associated Certificate of Occupancy/Compliance is required after construction is complete (and prior to occupation/use of the new structures).
3. Nadeau agreed that a variance approval expired one year from the date of issue. If the work has not been completed, the applicant shall apply to the Zoning Administrator for an extension. The Zoning Administrator may grant a single one-year extension for the identical project only."
4. Nadeau agreed to submit 1 full-sized (to scale) and 3 reduced (11 x 17) complete final plan sets depicting the requested changes; the revised plans shall be deemed Final by the Town Planner prior to being eligible for a Zoning Permit from the Zoning Administrator. Nadeau further agreed to submit ONE electronic or paper plan set for Staff review prior to submitting all the copies of the Final Plan sets.

Conley asked Nadeau how many stairways they proposed to add. Nadeau summarized the situation. He said that the unit owners were misled by the developer, who gave them the understanding that they could put stairs in. Nadeau explained that many or several units were constructed with steps or stairs, which were given Certificates of Occupancy by the Town, but recently one of the unit owners went to the Town to request permission to build stairs off his unit, and it was found that it could not be permitted because it was outside of the building envelope. Nadeau further explained that there are already structures that are outside the building envelope that were given Certificates of Occupancy by the Town, such as the egress windows and some of the stairs already on the units. Nadeau explained that some units desire egress steps coming off their porches, but not all.

Cole confirmed that the variance is only good for a year, and Nadeau stated that the unit owners are aware of the time limitation. The DRB and Staff discussed the logistics of the permitting and Final Plans if approved. Hemmerick explained that, if approved, the proposed improvements would be subject to a Zoning Permit within the allotted time-frame and the layout would have to be shown on the plans.

Susan Santerre, an adjoining property owner to the west, expressed frustration about the Certificate of Occupancy/Compliance made by the Town, and had concerns about structures that are already too close to her property. She requested that the DRB conduct a site visit to better understand the layout of the property, and she objected to the Applicant's position that the past mistakes are not a basis to further vary from the approval and Regulations.

101 Conley asked how close the structures would be to the lot boundary, which Hemmerick said
102 would depend on the design of the stairways. The Board and Nadeau discussed design
103 alternatives. Conley asked if the layouts could be staked out to see at a site visit, and
104 Hemmerick further added that there are no drawings of the existing or proposed non-
105 conformities. Santerre expressed concern about further buffer strip encroachment, and stated
106 that she went through this before, as the development was first proposed. She noted that they
107 built where they shouldn't have built and that it is unreasonable that Applicant wants to extend
108 that further.

109
110 Nadeau agreed that he can mark out the boundary lines and get a better idea of who is
111 interested in putting in new structures.

112
113 Hemmerick said the next meeting is Thursday, July 9th and there is time to do both a site visit
114 and a continued hearing. The Board agreed that they would like to see the drawings to better
115 understand the scope of existing and proposed encroachments which a variance, if approved,
116 would formalize/allow.

117
118 **MOTION** by David Conley, **SECOND** by Clayton Forgan to continue the Variance Type A
119 Residential Planned Unit Development hearing to July 9, 2015 with a site visit to be conducted
120 prior to the hearing at 6:00 p.m. **DISCUSSION:** None. **VOTE:** Jenkins: yea; Cole: yea; Forgan;
121 yea, Mr. Conley: yea; Bonges, yea. **PASSED.**

122
123 The hearing was closed at 7:20 p.m.

124
125 **Site Plan Application - 32 Catamount Drive - Rennline Inc., Applicant/PEJ LLC, Owner**

126 The Applicant seeks Site Plan approval per the Milton Zoning Regulations to shift an internal
127 circulation drive, stormwater area, and dumpster pad to accommodate a 3,000 sq. ft. light
128 industrial addition to the existing building. The site is currently accessed from existing
129 entrances on Catamount and Industrial Drives and contains a 2-unit, 20,000 sq. ft. building
130 previously approved as an Administrative Planned Unit Development. The units consist of a
131 19,936 sq. ft. light industrial use and a 64 sq. ft. research and development lab use. The
132 Applicant proposes no access, lighting, parking or water/wastewater changes to the site. The
133 property is described as 32 Catamount Drive; Tax Map 3, Parcel 8-27; SPAN #14541; contains
134 approximately 3.27 acres; and is located within the General Industrial (I2) Zoning District(s) and
135 the Catamount Planning Area. The Applicant has requested waivers (according to Section
136 803.12 of the Zoning Regulations) from Sections: 803.6 (landscaping plans), 803.7 (building
137 elevations), and 803.8 (lighting plans).

138
139 Paul Jacques represented the Applicant at the hearing.

140
141 Mr. Jenkins administered the oath to Interested Persons.

142
143 In response to item number:

- 144 1. Jacques explained the ownership of the entire property and units and that all parties with
145 an ownership interest are party to this application. Jacques submitted the deed which
146 explained RKP transferred the ownership over to PEJ LLC and a letter from RNK
147 Enterprises approving the application.
- 148 2. Jacques agreed that the Final Plans shall include elevations and outdoor lighting.
149 Jacques explained that they are only moving one light to the back side of the addition.

- 150 3. Jacques agreed that the Final Plans shall show the location of all proposed enclosed
151 outdoor storage as well as all structures. Jacques stated if the e storage container is
152 kept, he will add it to the Final plans.
- 153 4. Jacques agreed that the DRB may determine if the existing landscaping and relocation
154 of existing landscaping is acceptable.
- 155 5. Jacques agreed that if the DRB determines that new landscaping is required as a
156 percentage of development, the Applicant shall submit a cost schedule for the total
157 development, but stated that they only propose to move two trees.
- 158 6. Jacques agreed that if new landscaping is required, a landscaping surety shall be
159 required to guarantee the completion of the approved landscaping and will be held to
160 guarantee survival for a period of three years from installation. The surety must be
161 established prior to the issuance of a Zoning Permit, per Zoning Regulations Section
162 806.3 and the Town's Policy 98-02 on Landscape Performance Bonds. The DRB
163 determined that the surety will only be for the relocated trees.
- 164 7. Jacques stated that the proposed relocated landscaping will provide screening for the
165 dumpster on three sides.
- 166 8. Jacques agreed that if the relocated driveway is to be for two-way traffic, the gravel drive
167 shall be 24-feet. Jacques stated that he doesn't want two-way traffic.
- 168 9. Jacques agreed to show a bicycle parking space in compliance with ZR819 on the Final
169 Plans. The bicycle parking space shall be installed prior to receiving a Certificate of
170 Occupancy/Compliance.
- 171 10. Jacques agreed that if a new sign is proposed, a sign permit is required for business
172 identification signs. All signs shall be well-maintained in accordance with ZR830.
173 Jacques stated that they are not proposing a new sign at this time.
- 174 11. Jacques agreed to submit 3 full-sized (to scale) and 3 reduced (11 x 17) complete Final
175 Plan sets depicting the requested changes. The revised plans must be deemed Final by
176 the Town Planner prior to being eligible for a Zoning Permit from the Zoning
177 Administrator. The Applicant is advised to submit ONE full-sized (to scale) plan set for
178 Staff review prior to submitting all the copies of the Final Plan sets.
- 179 12. Jacques agreed that a Zoning Permit is required and an associated Certificate of
180 Compliance is required after construction is complete (and prior to occupation/use of the
181 addition).
- 182 13. Jacques agreed that the Town Attorney shall determine if a revised Condominium Plat
183 and Declaration of Condominium must to be amended due to this proposed amendment.
- 184 14. Jacques agreed that if needed, the Applicant shall submit associated legal instruments
185 for review and approval by the Town Attorney. Only instruments approved by the Town
186 may be recorded in the Town of Milton Land Records.
- 187 15. Jacques agreed to submit \$500 to cover the legal review of the deeds and any other
188 required legal instruments by the Town Attorney. Any funds not expended on the legal
189 review will be refunded to the Applicant.
- 190 16. Jacques agreed to obtain all required State permits and approvals.

191
192 **MOTION** by Henry Bonges, **SECOND** by Clayton Forgan to approve the Site Plan application
193 for the 3,000 square foot addition, changes to internal circulation, landscaping, relocation of
194 dumpster located at 32 Catamount Drive and described as SPAN# 13975, 14540, 14541,
195 14722, Tax Map 3, Parcel 8-27, 8-27-001, 8-27-002, 8-27-003, subject to the conditions
196 proposed in the Staff Report. **DISCUSSION:** None. **VOTE:** Jenkins: yea; Cole: yea; Forgan;
197 yea, Mr. Conley: yea; Bonges, yea. **PASSED.**

198
199 **OTHER BUSINESS**
200 **Staff Update**

201 Hemmerick and Pitts went over the Staff Update included in the Memo.

202

203 **MINUTES**

204 **MOTION** by David Conley, **SECOND** by Clayton Forgan to approve the minutes of **June 11,**
205 **2015. DISCUSSION:** None. **VOTE:** Jenkins: yea; Cole: yea; Conley: yea; Forgan: yea;
206 Bonges: abstention. **PASSED.**

207

208 **ENTER DELIBERATIVE SESSION**

209 **MOTION** by Clayton Forgan, **SECOND** by Thomas Cole, to enter Deliberative Session at 8:09
210 p.m. to finalize and review written decisions. **DISCUSSION:** None. **VOTE:** Jenkins: yea; Cole,
211 yea; Forgan: yea; Conley: yea. Bonges; yea. **PASSED.**

212

213 **RETURN TO PUBLIC SESSION**

214 **MOTION** by David Conley, **SECOND** by Clayton Forgan to re-enter Public Session 8:24 p.m.
215 **DISCUSSION:** None. **VOTE:** Jenkins: yea; Cole: yea; Forgan: yea; Mr. Conley: yea; Bonges,
216 yea. **PASSED.**

217

218 **DECISIONS SIGNED**

219 **Minor Conventional Subdivision Sketch - 860 East Road - Blondin**

220 Bruce Jenkins, Acting Chair: yea/nay/abstain/absent/recusal

221 Thomas Cole, Clerk: yea/nay/abstain/absent/recusal

222 Clayton Forgan: yea/nay/abstain/absent/recusal

223 David Conley: yea/nay/abstain/absent/recusal

224 Vacant, Chair yea/nay/abstain/absent/recusal

225

226 **PLATS SIGNED**

227 None.

228

229 **ADJOURNMENT**

230 **MOTION** by Bruce Jenkins **SECOND** by Henry Bonges to adjourn the meeting at 8:26 p.m.
231 **DISCUSSION:** None. **VOTE:** Jenkins: yea; Cole; yea; Forgan: yea; Conley: yea; Bonges: yea.
232 **PASSED.**

233

234 Respectfully submitted,

235

236

237

238 _____
Bruce Jenkins
239 Vice-Chair and Acting Chair

Jacob Hemmerick
240 Planning Director

241

Date Approved: _____