

DEVELOPMENT REVIEW BOARD

Meeting Type:.....**Regular Meeting** (2nd and 4th Thursdays of each Month)
Date:.....**Thursday, October 27, 2016**
Time:.....**7:00 p.m.**
Place:.....**Municipal Building Community Room**
Address:.....**43 Bombardier Road Milton, VT 05468**
Contact:.....**(802) 893-1186**
Website:.....**www.miltonvt.org**

PUBLIC NOTICE OF MEETING & HEARINGS

Bruce Jenkins, Chair

David Conley, Vice Chair

Henry Bonges, Clerk

Julie Rutz

Robert Brisson

AGENDA

1. Call to Order
2. Attendance
3. Agenda Review
4. Public Forum

The public may attend and be heard in accordance with Vermont's Open Meeting Law (1 V.S.A. 312).

5. Old Hearings/Business

- 5(A). Bylaw Review & Goals

Action: Review Bylaws and approve changes; Identify any goals for year.

6. New Hearings/Business

- 6(A). **Minor Conventional Subdivision Final Plan Hearing:** *Rowley Family Real Estate II, LLC, Owner/Connor & Meghann Rowley, Applicants request Final Plan approval for a proposed 2-lot Minor Conventional Subdivision located at Lake Road & Hibbard Road, described as Tax Map 14, Parcel 6 and SPAN #13077. A single family home is also proposed for the newly created 10-acre lot, to be served by on-site private septic and water and accessed from Hibbard Road. The subject property contains approximately 255.10 acres and is located within the "Agricultural/Rural Residential" (R5) Zoning District.*

- 6(B). **Minor Conventional Subdivision Sketch Plan Hearing:** *Philip LeClaire, Owner/Applicant requests Minor Conventional Subdivision Sketch Plan approval for a proposed 2-lot subdivision located at 161 Westford Road. A pre-existing single family residence will remain on the property and a 4-bedroom single family residence is proposed for the newly created lot. The new home is proposed to be accessed off of Forest Road and serviced by on-site water and wastewater. The property is described as Tax Map 16, Parcel 54, SPAN # 12043, contains approximately 25 acres and is located in the "Agricultural/Rural Residential" (R5) Zoning District and "East Milton" Planning Area.*

- 6(C). **Subdivision Final Plat:** *26 McMullen Road LLC, Owner/Applicant, requests Subdivision Final Plat approval in order to create non-conforming footprint lots pursuant to the Vermont Common Interest Ownership Act within a previously approved Minor Conventional Subdivision. No other changes are proposed. The properties are located on North Gardens Lane and described as Tax Map 29, Parcels 62-5, 62-6, 62-7, 62-8 and 62-9, and SPAN numbers 14908, 14909, 14910, 14911, respectively. The properties are located within the Old Towne Residential (R1) Zoning District and Town Core Planning Area.*

7. Other Business, Planning Staff Report

8. Minutes of October 13, 2016

9. Possible Deliberative Session

Private session for deliberations on applications and written decisions in accordance with 1V.S.A. 312.

10. Adjournment

Jeffrey Castle, Town Planner

Filed in the Town Clerk's Office. Posted in the Municipal Building Lobby, Planning & Economic Development Department, Town's Facebook page, Town's DRB webpage, Middle Road Market, Milton Beverage, & Rene's Discount Beverage. E-mailed to the Regional Planning Commission, Burlington Free Press, Milton Independent, & LCATV.



PLANNING DIVISION

43 Bombardier Road
 Milton, Vermont 05468-3205
 (802) 893-1186
 miltonvt.org

DEVELOPMENT REVIEW BOARD STAFF REPORT

Hearing Date: October 27, 2016	
Case No: DRB 2016-34	
Application(s): Minor Conventional Subdivision Final Plan	
Application Received: September 19, 2016	
Application Deemed Complete: September 21, 2016	
Staff Report Finalized: Friday, October 21, 2016	
Applicant(s): Connor and Meghann Rowley 501 Lake Road Milton, VT 05468 802-318-3544 connorowley13@aol.com	Owner(s): Rowley Family Real Estate c/o Lawrence Rowley 501 Lake Road Milton, VT 05468 802-893-7618
Engineer/License: Brian Tremback Lamoureux & Dickinson Consulting Engineers, Inc 14 Morse Drive Essex Junction, VT 05452	Surveyor/License: Doug Henson/#656 Lamoureux & Dickinson Consulting Engineers, Inc 14 Morse Drive Essex Junction, VT 05452
E-911/Postal Address: 17 Dixon Road	
Tax Map, Parcel(s): 14, 6	
School Parcel Account Number(s) (SPAN): 13077	
Deed(s): Book 333, Page 894	
Existing Size: 255.1	
Zoning District(s): Agricultural Rural Residential "R5"	
Comprehensive Plan Planning Area/Sub-Area: West Milton Planning Area	
Location: Corner lot at Lake Road and Hibbard Road.	

INTRODUCTION

Noticed Summary of Proposal: Rowley Family Real Estate II, LLC, Owner/Connor & Meghann Rowley, Applicants request Final Plan approval for a proposed 2-lot Minor Conventional Subdivision located at Lake Road and Hibbard Road, described as Tax Map 14, Parcel 6 and SPAN #13077. A single family home is also proposed for the newly created 10-acre lot, to be served by on-site private septic and water and accessed from Hibbard Road. The subject property contains approximately 255.10 acres and is located within the “Agricultural/Rural Residential” (R5) Zoning District.

Comments: Jeff Castle, Town Planner, herein referred to as staff, have reviewed the application, materials and plans submitted and have the following comments.

Ethics Disclosure: Staff herein notes that there is no known direct or indirect conflicts of interests between Staff and the owner, applicant, or noticed interested parties.

Hearing Process/Procedure: Applicants and interested persons can learn more about the Development Review hearing process and procedure at <http://miltonvt.org/government/boards/dr.html>.

APPLICATION, JURISDICTION, NOTICE

Application: This matter comes before the Town of Milton Development Review Board (DRB) for Conventional Subdivision Final Plan approval. The application and its associated materials are maintained by the Town in the application file and are available for public inspection

Applicant(s): The application was submitted by Connor and Meghann Rowley, referred to hereafter as the "applicant".

Landowner(s): The property is owned by Rowley Family Real Estate II, LLC. The Vermont Secretary of State website lists John M. Rowley, Lawrence K. Rowley, and Thomas A. Rowley as Members. All owners are signatories to this application.

Project Consultant(s): Brian Tremback of Lamoureux & Dickinson Consulting Engineers, Inc. is a consultant for this project.

Application Submission: The application form was received by the Planning and Economic Development Department on September 19, 2016.

Application Completion: The application was deemed complete by Staff on September 21, 2016.

State Project Review & Act250: The applicant has received a State Project Review Sheet and was deemed not subject to Act250.

General Jurisdiction: Land development is subject to regulation by the Town of Milton pursuant to, but not limited to, the following: The Vermont Planning and Development Act (Act); The Town of Milton Zoning Regulations (ZR), effective January 5, 2015; the Town of Milton Interim Zoning Regulations (IZR) effective February 26, 2015; and The Town of Milton Subdivision Regulations (SR), effective June 28, 2010.

Minor Conventional Subdivision Final Specific Jurisdiction:

SR130 states: These subdivision regulations shall apply to all subdivisions of land, as defined herein, located within the Town of Milton. No land shall be subdivided within the Town of Milton until the subdivider shall obtain final approval of the proposed subdivision from the Development Review Board (DRB) and the final approved subdivision plat is recorded in the Milton Land Records.

Regulatory Waivers Requested: No waivers have been requested.

Warning of Hearing: Public warning was issued by the Department of Planning and Economic Development for the hearing according to Vermont Statutes Annotated Chapter 24 §4464.

Hearing: The Town Planner scheduled the hearing for October 27, 2016.

Site Visit: The DRB may schedule a site visit and recess the hearing to a subsequent meeting date if on-site observation would better inform the DRB's decision.

EXHIBITS

Application Exhibits: The following exhibits were submitted with the application and attached to the Staff Report:

- Property of Rowley Family Real Estate, Subdivision Site Plan; prepared by Lamoureux and Dickinson Consulting Engineers, Inc.; dated 9/15/2016.
- Property of Rowley Family Real Estate, Potable Water and Wastewater System Details and Specifications; prepared by Lamoureux and Dickinson Consulting Engineers, Inc.; dated 9/15/2016.
- Lands Proposed to be Conveyed to Conner & Meghann Rowley, Two-Lot Subdivision Plat, ; prepared by Lamoureux and Dickinson Consulting Engineers, Inc.; dated 9/13/2016.

Staff Exhibits: The following exhibits from staff are attached to the Staff Report.

- TAC School District Review Sheet dated 10/7/2016;
- TAC Police Review Sheet dated 10/11/2016;
- TAC Recreation Review Sheet dated 10/5/2016;

SITE, DISTRICT & AREA INFORMATION

Property Location: The subject property is located at 17 Dixon Road and shown on Milton's Tax Map 14 as Parcel 6. The corresponding School Parcel Account Number (SPAN) is 13077.

Size/Area: According to the evidence presented, the subject parcel is approximately 255 acres or 11,000,000 square feet. The Assessor's Grand List records this property as approximately 255.10 acres.

Deed(s): The deed is recorded on 7/27/2006 in Book 333, Page 894 of the Town of Milton Land Records to Rowley Family Real Estate II, LLC; Grantee.

Zoning District(s): The site is located within the Agricultural Rural Residential (R5) Zoning District described on the Town of Milton Zoning Map, last amended August 22, 2011, on record and display at the Municipal Offices and available on the Town's website. The ZR341 states that the purpose of this district is “to provide for continued agriculture, forestry and open space uses together with compatible low density residential development. Large portions of the Town have been included in this area because of a combination of circumstances, including high agricultural potential, distance from community facilities, often severe limitations to development, and natural patterns of dispersed development.”

Comprehensive Planning Area: The site is located within the West Milton Planning Area, as delineated in Map 2 of the 2013 Comprehensive Plan. The Plan states the following goals about this area:

Goal 9.12.1. Encourage a diversity of agricultural uses.

Goal 9.12.2. Encourage low-density, well planned residential development which enhances the character of the area.

Objective 9.12.2.a. Develop standards and encourage low-density, well planned unit residential developments that work with the natural features of the landscape and protect scenic viewsheds.

Goal 9.12.3. Promote the development of community activities for a range of ages.

Objective 9.12.3.a. Encourage the creation of outdoor recreation facilities along Lake Champlain for children and adults.

Goal 9.12.4. Encourage the preservation of historic sites.

Physical Characteristics/Natural Features:

Topography: Generally flat, sloping away from Hibbard Road.

Soil: Soils of Statewide agricultural significance and some Prime Agricultural soil on Lot 2

Watershed: Drains to the Lamoille River via Streeter Brook.

Wetland: Property contains mapped class II wetlands.

Vegetation: Property predominantly contains agricultural fields with some tree cover.

Habitat/Wildlife Crossings: Property contains a portion of a forested habitat block of 801-1600 acres.

Historic Resources: None known.

Surrounding Use/Structures: Surrounding properties contain agricultural uses, single family dwellings, and preserved open space.

SITE HISTORY

Background: Staff was unable to locate prior approvals relevant to this application.

Zoning Compliance: To staff's knowledge, the subject property does not have any Zoning Violations recorded in the Town of Milton Records, nor unresolved Zoning Enforcement action.

EXISTING AND PROPOSED USE/IMPROVEMENTS/LAND RESTRICTIONS

Existing Use: The property contains an existing single family dwelling and agricultural use.

Proposed Use: The plan indicates a proposed single family dwelling.

Existing Improvements:

Buildings and structures: Single family dwelling, barn, accessory agricultural structures.

Utilities: The property is served by on-site water and wastewater.

Access: The property is accessed via Dixon Road, an existing Class 4 Road (linking to Lake Rd.)

Proposed Improvements:

Buildings: 3-bedroom single family dwelling on proposed Lot 2

Utilities: onsite water and wastewater system

Access: driveway access to proposed Lot 2 from Hibbard Road

Existing Restrictions or Covenants: The application submitted indicates that the property is subject to an easement to Vermont Electric Power Company.

Proposed Restrictions or Covenants: None

SUBDIVISION FINAL REVIEW

SR110.2, Subdivision Policy: Land to be subdivided shall be of such character that it can be used safely for building purposes without danger to health or peril from fire, flood, or other menace. Land shall not be subdivided until proper provision has been made for drainage, water, sewage, and capital improvements such as schools, parks, recreation facilities and transportation facilities.

SR120, Purposes: The Subdivision Regulations aim to achieve the purposes defined by this section:

- To protect and provide for the public health, safety, and general welfare of the Town of Milton.
- To guide the future growth and orderly development of the Town in accordance with the Comprehensive Plan, Zoning Regulations and all other By-Laws enacted to implement the Plan.
- To provide for adequate light, air and privacy, to secure safety from fire, flood and other danger, and to prevent over-crowding of the land and undue congestion of population.
- To guide public and private policy and action in order to provide adequate and efficient transportation, water, sewage, schools parks, playgrounds, recreation and other public requirements and facilities.
- To provide the most beneficial relationship between the uses of land and buildings, and the circulation of traffic throughout the Town, having particular regard to the avoidance of congestion in the streets and highways.
- To insure that public facilities are available and will have a sufficient capacity to serve any proposed subdivision.
- To present the pollution of air, streams, ponds and Lake Champlain; to assure the adequacy of drainage facilities; to safeguard the water tables; and to encourage the wise use and management of natural resources throughout the Town in order to preserve the integrity; stability, and beauty of the community and the value of land.
- To preserve the natural beauty and topography of the Town and to insure appropriate development with regard to these natural features.
- To further the purposes contained in the Vermont Planning and Development Act, and in particular, those purposes set forth in Section 4302 of the Act.

SR400, Minor Subdivision Application: The section states: Within six (6) months of classification by the DRB of the sketch plan as a minor subdivision, the subdivider shall submit an application for approval of a subdivision plat. The application shall contain those items set forth in Section 610 of these regulations, and shall conform to the layout shown on the sketch plan plus any recommendations made by the DRB. Staff finds that the application was submitted within six months of sketch plan approval and conforms to the layout shown on the sketch plan plus recommendations made by the DRB at sketch approval.

SR610, Final Application Content: Unless otherwise stated herein, Staff has found that the draft Final Plat is in compliance with all applicable provisions of SR610. The following requirements were not found on the Final Plat:

SR610.1 Space shall be reserved thereon for endorsement by all appropriate agencies. This should include a signature block for the chair of the DRB.

SR610.1(1): The license number and seal of the licensed land surveyor.

1. The Final Plat shall include a signature block for signature by the Chair of the DRB.
2. The Final Plat shall be in compliance with SR610, and include the seal of the licensed land surveyor.
3. Survey Markers: The Surveyor shall submit a letter or e-mail attesting that all corner markers have been set prior to recording the final Plat.

ZONING REGULATION LOT CONFORMANCE

ZR620, Reduction of Lot Size: "No lot shall be so reduced in area so that the total area, setback areas, lot width, frontage, coverage, or other requirements of these Regulations shall be other than herein prescribed for the district in which the lot is located."

District Dimensional Requirements, ZR344: The tables below show the required dimensional requirement for a residential use in the subject property's applicable Zoning District and proposed compliance.

Lot 1 (Containing Existing Dwelling)	Required	Proposed
Minimum LOT AREA (sq. ft.)	400,000	10,562,851
Minimum Road FRONTAGE (linear ft.)	400	900
Minimum FRONT SETBACK (linear ft.)	35	5
Minimum SIDE SETBACK (linear ft.)	50	>50
Minimum REAR SETBACK (linear ft.)	50	2,900
Maximum BUILDING COVERAGE (%)	40	<1
Maximum LOT COVERAGE (%)	15	<1

Staff finds that the existing house and barns do not meet the 35 foot minimum setback along Dixon Road. The proposal does not change this existing non-conformity. Lot 1 would conform to all other dimensional standards of the R5 District.

Lot 2 (Accessed via Hibbard Road)	Required	Proposed
Minimum LOT AREA (sq. ft.)	400,000	440,450
Minimum Road FRONTAGE (linear ft.)	400	478
Minimum FRONT SETBACK (linear ft.)	35	>35
Minimum SIDE SETBACK (linear ft.)	50	>50
Minimum REAR SETBACK (linear ft.)	50	>50
Maximum BUILDING COVERAGE (%)	40	0.5
Maximum LOT COVERAGE (%)	15	1

Lot 2 would conform to the dimensional standards of the R5 District.

ZR593, Driveways: The applicant is proposing a new driveway for access to Lot 2.

4. The proposed driveway shall be constructed according to ZR593 and the driveway specifications as defined in the Public Works Specifications.

ZR594, Highway Access Permit: No Zoning Permit shall be issued for the construction of a driveway which intersects a Town highway without a valid Highway Access Permit.

5. The Applicant shall obtain a Town Highway Access prior to the issuance of a Zoning Permit for the new driveway, per ZR594, *Highway Access Permit*.

RETURN TO SUBDIVISION REVIEW

Subdivision Standards of Evaluation, Section 700:

Final approval of any subdivision shall be based on a finding by the DRB that the subdivision is in accord with the following standards:

700.1, Suitability for Development: The DRB must find that “The land is suitable for subdivision or development. In making this determination it shall at least consider flooding, improper drainage, steep slopes, rock formations, adverse earth formations or topography, utility easements or other features which will be harmful to the safety, health, and general welfare of the present or future inhabitants of the subdivision and/or its surrounding areas.”

700.2, Preservation of Aesthetic Features: The DRB must find that, “the proposal includes due regard for the preservation and protection of existing aesthetic features such as trees, scenic points, brooks, streams, rock outcroppings, water bodies, other natural resources and historical resources.”

700.3, Sufficient Open Space for Recreation: The DRB must find that, “The proposal includes sufficient open space for recreation.”

700.4, Run-off and Erosion Control During & After Construction: The DRB must find that “The proposal includes adequate provision for control of runoff and erosion during and after construction.”

700.5, Compliance with Comprehensive Plan, Regulations & Bylaws: The DRB must find that “The proposed development is in compliance with the Milton Comprehensive Plan, Zoning Regulations and other By-Laws then in effect.” Staff has highlighted the Plan goals for this area above.

700.6, Undue Water or Air Pollution: The DRB must find that “The proposed development will not result in undue water or air pollution. In making this determination it shall at least consider the elevation of land above sea level and its relation to the floodplains, the nature of the soils and subsoils and their ability to adequately support waste disposal; the slope of the land and its effect on effluents; the availability of stream for disposal of effluents; and the applicable health and Vermont Department of Water Resources regulations.”

700.7, Compatibility with Surroundings: The DRB must find that “The proposed development is compatible with surrounding properties.”

700.8, Suitability for Proposed Density: The DRB must find that “The site is suitable for the proposed density.”

700.9, Pedestrian Safety: The DRB must find that “The proposal contains adequate provision for pedestrian traffic in terms of safety, convenience, access to points of destination and attractiveness.”

700.10, Municipal Service Burden: The DRB must find that “The proposed development will not place an unreasonable burden on the ability of local governmental units to provide municipal, educational, or governmental services and facilities.”

700.11, Sufficient Water/Wastewater: The DRB must find that “There is sufficient water available for the reasonably foreseeable needs of the proposed development.”

700.12, Highway Congestion: The DRB must find that “The proposed development will not cause unreasonable highway congestion or unsafe conditions with respect to the use of roads and highways in the Town.”

SUBDIVISION REQUIRED IMPROVEMENTS AND DESIGN STANDARDS

SR800, Streets: No new streets are proposed.

SR810, Curbs, Sidewalks, and Pedestrian Access: Staff does not find the addition of sidewalks and curbs to be appropriate for this site, but may be deemed so by the DRB.

SR830, Outdoor Lighting: Staff does not find the addition of outdoor lighting to be appropriate for this site, but may be deemed so by the DRB.

SR830, Street Trees: Staff does not find the addition of street trees to be appropriate for this site, but may be deemed so by the DRB.

SR840, Drainage: The submitted site plan indicates the addition of a 18" culvert under the proposed driveway near the highway access with Hibbard Road. No other changes to the site drainage are proposed. According to SR840, "Where a subdivision is traversed by a water course or drainage way there shall be provided a storm water drainage easement of such width as to encompass the twenty five (25) year flood area of such water course, which easement shall be indicated on the Final Plat." The site is traversed by Streeter Brook.

6. The location of a storm water drainage easement of such width as to encompass the twenty five (25) year flood area of the water course within the subdivision shall be included in the Final Plat application.

SR850, Water System: The applicant has proposed an onsite drilled well for Lot 2. A state Wastewater System and Potable Water Supply Permit is required according to the submitted State Project Review Sheet.

SR860, Sewage Disposal: The applicant is proposing on-site sewage disposal with septic tank, pump station and absorption system. A state Wastewater System and Potable Water Supply Permit is required according to the submitted State Project Review Sheet.

SR860, Utilities: No new utility easements have been proposed.

SR880, Layout: Staff finds the proposed lot layout to be slightly irregular but generally meets the layout requirements of SR880.

Legal Escrow, SR910: The Applicant has submitted \$500 with the Final application to cover the legal review of the deeds and any other required legal instruments by the Town Attorney. Any funds not expended on the legal review will be refunded to the Applicant.

Legal Review, SR920:

7. The applicant shall submit draft deeds and any other associated legal instruments for all impacted lots for review and approval by the Town Attorney. All requested revisions must be complete before the Plat may be recorded. Only instruments approved by the Town may be recorded in the Town of Milton Land Records.

SR940, Filing of Final Plat:

8. **Staff Review of Revisions:** The applicant shall submit one paper or electronic .PDF version of the revised final Plat (any any associated plans) for review and approval by Staff prior to submitting the mylar. The Applicant shall also submit one full-sized (to scale) paper Final Plat and one 11x17 paper plat depicting the requested changes, to be maintained in the Planning Office's application file.
9. **Final Plat Submission:** The final Plat shall be submitted on mylar (18" x 24"), signed by the licensed surveyor and the Chair of the DRB, and recorded in the Town Clerk's Office within 180 days of the date of the DRB's Final Approval Decision per Subdivision Regulations Section 940. Final approval expires if not filed within 180 days, unless extended by the Zoning Administrator

for pending local or state approvals. In the event a subdivision plat is recorded without complying with this requirement, the plat shall be considered null and void.

SR950, Revisions: No changes, erasures, modifications, or revisions, other than those required by this Decision, shall be made on the Plat after approval unless a revised Plat is first submitted to the Department of Planning and Economic Development. In the event the subdivision plat is recorded without complying with this requirement, the Plat shall be considered null and void.

TECHNICAL REVIEW COMMITTEE

Technical Advisory Committee: The committee had no comments or concerns.

STAFF RECOMMENDATION

The Planning Staff recommends that the DRB **approve** the Final Plan for a proposed 2-lot Minor Conventional Subdivision located at Lake Road and Hibbard Road, described as Tax Map 14, Parcel 6 and SPAN #13077, subject to the conditions above.

Respectfully Submitted:



Jeffrey Castle, Town Planner

COPIES TO:

- Applicant(s)
- Owners(s)
- Engineer/Surveyor

WHAT'S NEXT?

Decision: The DRB has 45 days from the close of the hearing to issue a written decision. The DRB aims to finalize decisions at the next available DRB meeting, but there are times when this is not possible and additional time is needed. The Applicant will receive a copy of the Decision by United States Postal Service Certified Mail; the official date of issuance is the date the Decision is mailed Certified. All other interested person who signed in on the hearing sign in sheet will also be mailed a copy of the Decision via USPS First Class Mail.

Decision Conditions: Approvals by the DRB almost always include conditions of approval that detail the next actions you must take to finalize the project. It's important that you read and understand the decision.

Appeal Rights: The DRB's decision can be appealed to the Environmental Division of the Vermont Superior Court by interested persons within **30 days** of issuance (10 VSA §8504).

Revocations: In addition to any other remedies provided for by law, approvals from the Development Review Board, whichever granted the permit or approval, for violation of these Regulations or the terms and conditions of the permit or approval. Omission or misstatement of any material fact by the applicant or agent on the application or at any hearing which would have warranted refusing the permit or approval shall be grounds for revoking the permit or approval at any time.

PA:2015\15056\dwg\15056-S1.dwg, 9/16/2016 11:07:31 AM, 1:2.21198

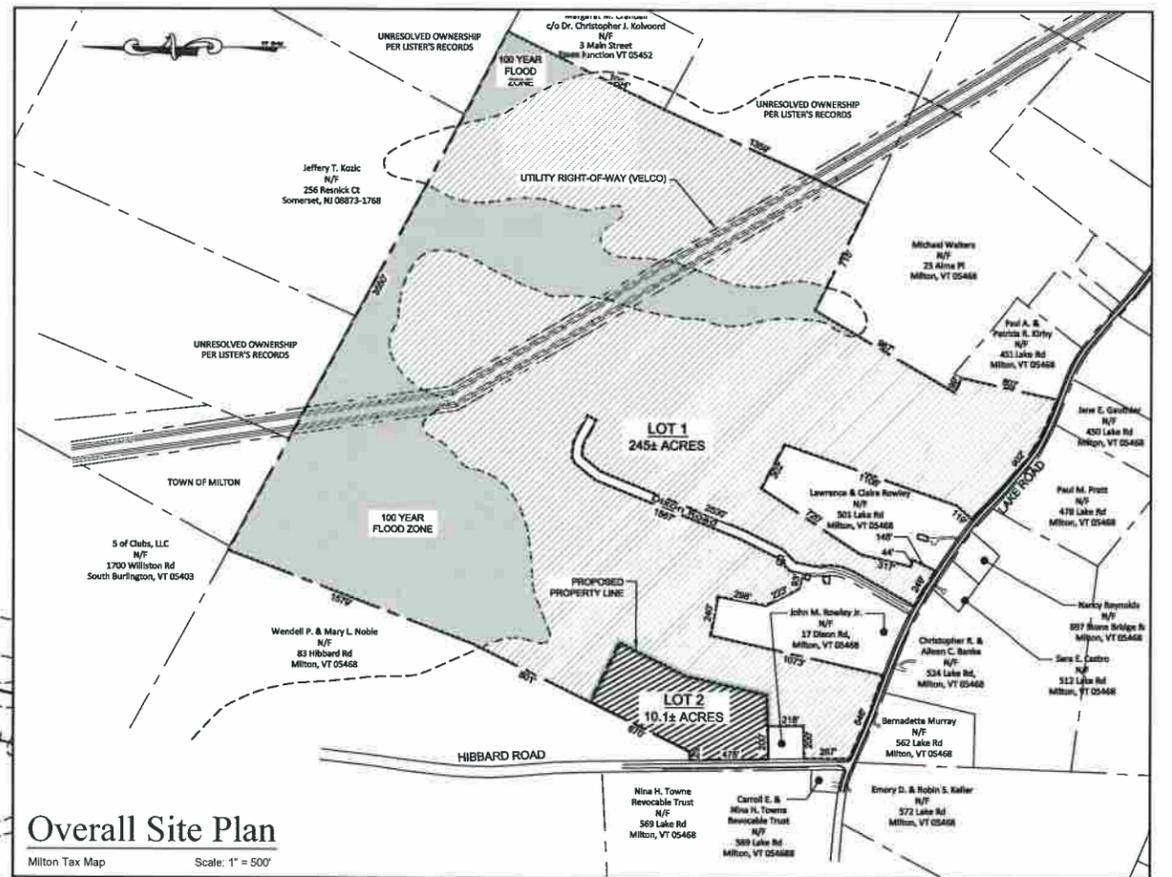
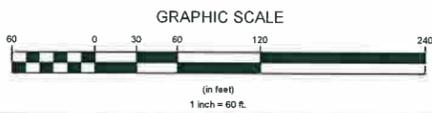
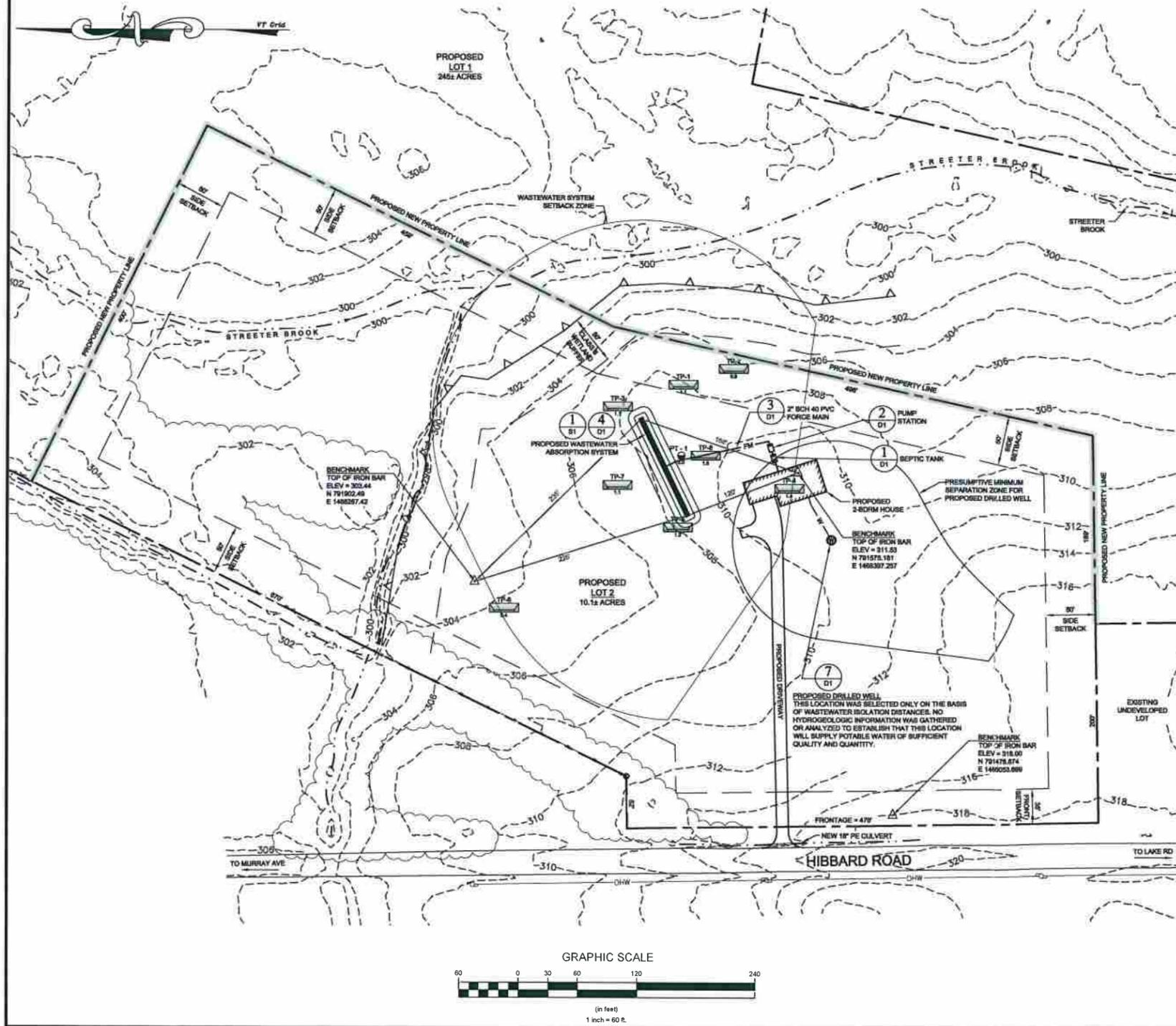


VICINITY MAP
NOT TO SCALE

THE CONTRACTOR SHALL CALL "DIGSAFE" AT 811 PRIOR TO ANY EXCAVATION.

Legend

- APPROXIMATE PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- ABUTTER PROPERTY LINE
- - - 700' EXISTING SURFACE CONTOUR
- WETLAND BOUNDARY
- WETLAND UPLAND
- DETAIL NUMBER
- DETAIL REFERENCE
- APPEARS ON PLANSHEET
- TP-1 TEST NUMBER
- TEST PIT LOCATION
- DEPTH (FT) TO EVIDENCE OF SEASONAL HIGH GROUNDWATER
- PT-1 TEST NUMBER
- PERCOLATION TEST LOCATION
- PERCOLATION RATE (MINUTES PER INCH)
- △ BENCHMARK - SURVEY CONTROL POINT



Overall Site Plan

Milton Tax Map Scale: 1" = 500'

Soil Test Summary
Logged by Brian Tremback on May 19, 2015

Test #	Depth to evidence of seasonal high groundwater (ft)	Depth to existing groundwater (ft)	Depth to bedrock (ft)
TP-1	1.1	>4.5	>4.5
TP-2	0.9	>4.5	>4.5
TP-3	1.1	>5.0	>5.0
TP-4	1.4	>4.4	>4.4
TP-5	1.2	>4.0	>4.0
TP-6	0.4	>2.5	>2.5
TP-7	1.1	>3.0	>3.0
TP-8	1.5	>3.2	>3.2

Percolation Test Results
Tested by Brian Tremback on May 19, 2015

Test #	Percolation rate (min/in)
PT-1	5.0

APPLICANT
Connor & Meghan Rowley
501 Lake Road
Milton, VT 05468

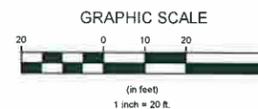
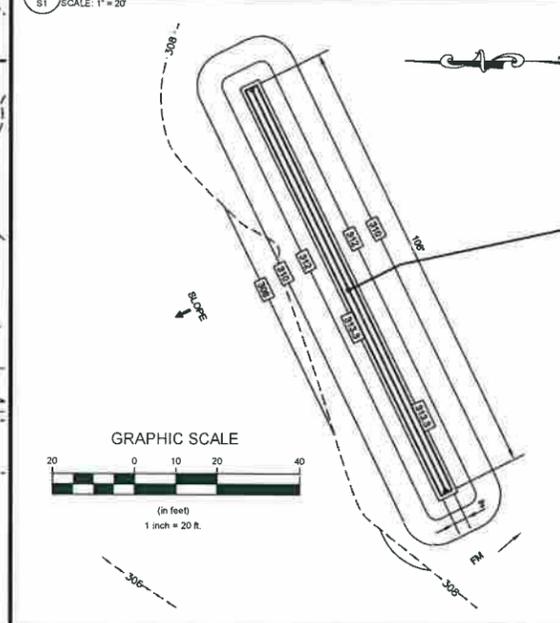
OWNER
Rowley Family Real Estate
501 Lake Road
Milton, VT 05468

ZONING REQUIREMENTS
Zoning District - Agricultural/Rural Residential (R5)
Tax Map 14 Parcel 6
Parcel ID: 214006-000
Deed Reference: Book 333, Page 894
Lot Area = 255± Acres

2 - LOT MINOR CONVENTIONAL SUBDIVISION

DIMENSIONS	Required	Proposed
Proposed LOT 2		
Lot Area	400,000 sf (min.)	446,796 sf
Road Frontage	400 ft (min.)	478 ft
Front Setback	35 ft (min.)	> 35 ft
Side Setback	50 ft (min.)	> 50 ft
Rear Setback	50 ft (min.)	> 50 ft
Building Coverage	40% (max.)	0.5% (2,400 sf)
Lot Coverage	15% (max.)	1.0% (5,300 sf)

WASTEWATER ABSORPTION SYSTEM GRADING PLAN
SCALE: 1" = 20'



RECEIVED
SEP 19 2016
Planning & Economic Development
Milton, Vermont



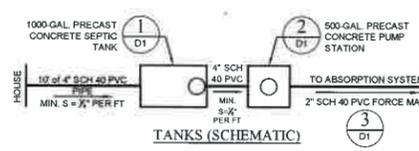
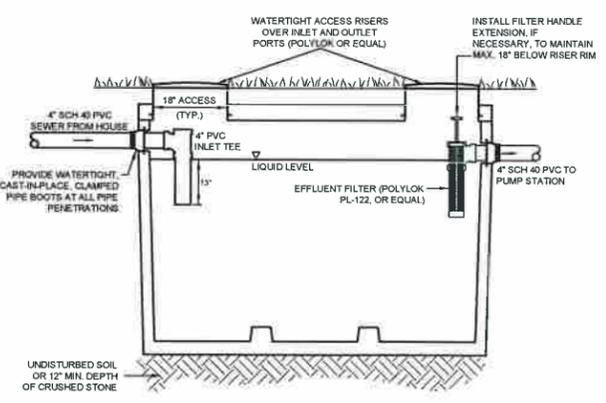
Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input type="checkbox"/>	Sketch/Concept	<input type="checkbox"/>
<input type="checkbox"/>	Preliminary	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Final	<input type="checkbox"/>
<input type="checkbox"/>	Act 250 Review	<input type="checkbox"/>
<input type="checkbox"/>	Construction	<input type="checkbox"/>
<input type="checkbox"/>	Record Drawing	<input type="checkbox"/>

Property of Rowley Family Real Estate Lake Road / Hibbard Road Milton, VT	Project No. 15056 Survey JMR Design BJT
Subdivision Site Plan	Drawn VEH/BJT Checked DJG Date 9-15-2016
LD Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com	Scale AS SHOWN Sheet number S1

1 1,000-GALLON PRECAST CONCRETE SEPTIC TANK
S-1 NOT TO SCALE

SEPTIC TANK SPECIFICATIONS

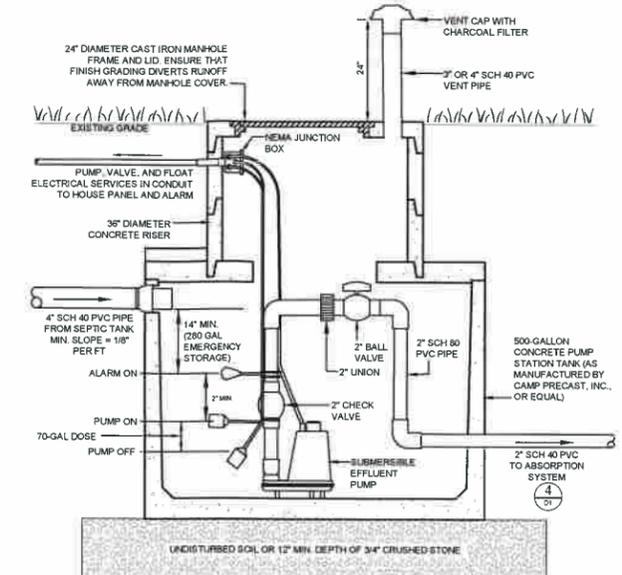
- DESIGN DATA: DESIGN FLOW = 280 GPD -> USE A 1,000-GALLON SEPTIC TANK.
- THE SEPTIC TANK SHALL BE WATER TIGHT AND CONSTRUCTED OF 5" STEEL-REINFORCED, 5,000 PSI, PRE-CAST CONCRETE. DO NOT EXCEED THE MANUFACTURER'S RECOMMENDED DEPTH OF COVER. IF VEHICLE LOADS ARE ANTICIPATED OVER THE SEPTIC TANK, IT SHALL BE RATED FOR H-20 LOADING.
- THE TANK SHALL BE FITTED WITH AN EFFLUENT FILTER CAPABLE OF RETAINING 1/16" SOLIDS.
- WATER TIGHT SURFACE ACCESS RISERS SHALL BE PROVIDED OVER THE INLET AND OUTLET PORTS OF THE TANK. THE RISERS AND LID SHALL PREVENT INFILTRATION BY SURFACE OR GROUND WATER.
- THE EXCAVATION MUST BE AT LEAST 12" WIDER AND LONGER THAN THE TANK DIMENSIONS.
- EACH PIPE PENETRATION SHALL BE EQUIPPED WITH A WATER TIGHT, CAST-IN-PLACE, CLAMPED BOOT.
- IF LEDGE IS ENCOUNTERED AT A DEPTH INSUFFICIENT TO ACCOMMODATE THE SPECIFIED TANK, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR ALTERNATE STRUCTURE RECOMMENDATIONS.
- BACKFILL SIDES AND TOP OF TANK WITH SAND OR GRAVEL. ALL BACKFILL AROUND THE TANK SHALL BE THOROUGHLY COMPACTED TO NOT LESS THAN 85% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO-T-99 STANDARD PROCTOR.



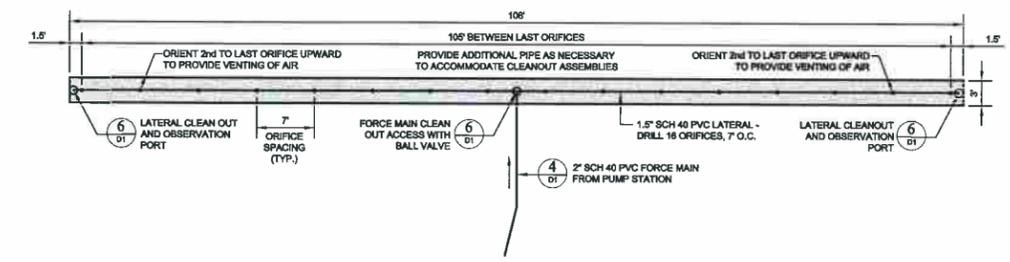
2 500-GALLON PUMP STATION
S-1 NOT TO SCALE

PUMP STATION SPECIFICATIONS

- THE PUMP STATION TANK SHALL HAVE SUFFICIENT CAPACITY TO ACCOMMODATE THE REQUIRED PUMP, THE SPECIFIED DOSE VOLUME, AND THE NECESSARY EMERGENCY STORAGE VOLUME.
- LAMOUREUX & DICKINSON RECOMMENDS THE USE OF A WATER TIGHT, STEEL REINFORCED, 5,000 PSI, PRE-CAST CONCRETE TANK. DO NOT EXCEED THE MANUFACTURER'S RECOMMENDED DEPTH OF COVER. IF VEHICLE LOADS ARE ANTICIPATED OVER THE PUMP STATION, IT SHALL BE RATED FOR H-20 LOADING.
- THE PUMP STATION SHALL BE CONSTRUCTED TO MINIMIZE THE RISK OF FREEZING OF EFFLUENT IN THE PIPES OR STRUCTURE. THIS INCLUDES BUT IS NOT LIMITED TO PROVIDING A DRAIN HOLE TO ALLOW THE FORCE MAIN TO DRAIN BETWEEN DOSES.
- BACKFILL SIDES AND TOP OF TANK WITH SAND OR GRAVEL. ALL BACKFILL MATERIAL AROUND THE TANK SHALL BE THOROUGHLY COMPACTED TO NOT LESS THAN 85% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO-T-99 STANDARD PROCTOR.
- ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE AND MATERIALS SHALL MEET U.L. APPROVAL.
- EMERGENCY STORAGE - PROVIDE 280 GALLONS OF STORAGE ABOVE ALARM LEVEL IN PUMP STATION TANK.
- PUMP SPECIFICATIONS
 2" SDR 26 PVC @ 17.9 GPM
 12" OF FORCE MAIN = 0.9 FT
 2" SDR 26 PVC @ 17.9 GPM = 0.1 FT
 12" OF FORCE MAIN = 0.1 FT
 NETWORK LOSSES = 0.7 FT
 PRESSURE TO BE MAINTAINED = 2.3 FT
 TOTAL HEAD LOSS = 1.5 FT
 MIN. DISCHARGE RATE = 18 GPM
 USE ONE (1) PUMP, SINGLE PHASE, 115 OR 230 VOLTS, MINIMUM CAPACITY: 18 GPM @ 15 FT TDH. IF THE "PUMP OFF" ELEVATION IS LESS THAN 504 FT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO VERIFY ADEQUACY OF THE SPECIFIED PUMP.
- TESTING: THE CONTRACTOR AND THE ENGINEER SHALL BE PRESENT DURING START-UP. THE CONTRACTOR SHALL PROVIDE A WATER SOURCE TO PERFORM A FULL OPERATIONAL CHECK OF THE PUMP STATION, INCLUDING ALL FLOAT FUNCTIONS, ALARMS, AND INDICATOR LIGHTS. THE PUMP SHALL BE FIELD-TESTED TO INSURE THE PUMPING CAPACITY MEETS THE PROJECT REQUIREMENTS.



4 WASTEWATER ABSORPTION TRENCH (PLAN VIEW)
S-1 SCALE: 1" = 10'



WASTEWATER SYSTEM DESIGN DATA

- IT IS THE OPINION OF THE DESIGNER THAT THE CONDITIONS WITHIN THE PROPOSED WASTEWATER SYSTEM ARE MEET THE REQUIREMENTS OF THE VERMONT ENVIRONMENTAL PROTECTION RULES-CHAPTER 1 FOR A PERFORMANCE BASED MOUND SYSTEM.
- THE PURPOSE OF THIS DESIGN IS TO PROVIDE ON-SITE WASTEWATER AND POTABLE WATER SYSTEMS TO A PROPOSED NEW RESIDENCE.
- DESIGN FLOW
HOUSE => (2 BDRMS x 140) = 280 GPD
- DESKTOP MOUNDING ANALYSIS FOR LOTS 2 & 3
SOIL TEXTURE = FINE SANDY LOAM
NATURAL GROUND SLOPE = 2.5%
DEPTH TO EVIDENCE OF HIGH GROUNDWATER = 1.1 FT
LINEAR LOADING RATE FACTOR (R) = 4.4
AVAILABLE SOIL DEPTH (N) = 0.6 FT
PROPOSED DESIGN FLOW = 280 GPD
MIN. SYSTEM LENGTH
GPD/(R x N) = 280 / (4.4 x 0.6) = 106.1
REQUIRED DEPTH OF SAND = 2.5 FT
- SYSTEM SIZING
DESIGN FLOW = 280 GPD
PERCOLATION RATE = 5 MIN/IN
APPLICATION RATE = 1.0 GPD/SQ FT
REQUIRED ABSORPTION AREA = 280 SQ FT

CONSTRUCTION SPECIFICATIONS

- ABOVE-GROUND VEGETATION SHALL BE CLOSELY CUT AND REMOVED FROM THE GROUND SURFACE THROUGHOUT THE WASTEWATER SYSTEM ABSORPTION AREA. THE AREA TO RECEIVE SAND FILL SHALL BE PLOWED TO A DEPTH OF SEVEN (7) TO EIGHT (8) INCHES, PARALLEL TO THE LAND CONTOUR WITH THE PLOW THROWING THE SOIL SURFACE TO PROVIDE A PROPER INTERFACE BETWEEN THE FILL AND THE NATURAL SOIL. PLOWING SHALL NOT BE INITIATED WHEN THE SOIL MOISTURE CONTENT IS HIGH.
- TO PREVENT COMPACTION, CONSTRUCTION EQUIPMENT SHALL NOT BE MOVED ACROSS THE PLOWED SURFACE. HOWEVER, AFTER PLACEMENT OF A MINIMUM OF SIX (6) INCHES OF SAND FILL OVER THE PLOWED AREA, LOW GROUND PRESSURE CONSTRUCTION EQUIPMENT MAY BE DRIVEN OVER THE PROTECTED SURFACE TO EXPEDITE CONSTRUCTION. ADDITIONALLY, THE SOIL FOR A DISTANCE OF 25 FT DOWNSLOPE OF THE MOUND SYSTEM - THE EFFLUENT DISPERSAL AREA - SHALL NOT BE DISTURBED, COMPACTED, OR USED FOR EQUIPMENT OR MATERIAL STORAGE. CONSTRUCTION SHALL NOT BE INITIATED WHEN THE SOIL MOISTURE CONTENT IS HIGH.
- THE MOUND SAND SHALL HAVE A PARTICLE SIZE GRADATION AS SHOWN IN THE DETAIL. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FURNISH A CURRENT SIEVE ANALYSIS REPORT ON THE SAND TO BE USED, SUBJECT TO APPROVAL BY THE ENGINEER.
- THE TRENCH SHALL BE EXCAVATED INTO THE MOUND SAND AS SHOWN IN THE DETAIL. THE BOTTOM OF THE TRENCHES SHALL BE LEVEL END-TO-END AND SIDE-TO-SIDE.
- IMMEDIATELY BEFORE PLACEMENT OF CRUSHED STONE IN THE TRENCH, THE SIDES AND BOTTOM SHALL BE RAKED TO REMOVE ANY SHEAR OR COMPACTED SOIL SURFACES.
- PLACEMENT OF STONE SHALL BE INITIATED IMMEDIATELY AFTER TRENCH PREPARATION IS COMPLETED.
- THE PRESSURE DISTRIBUTION PIPE SHALL BE RIGID PLASTIC PIPE, SCHEDULE 40, WITH DIAMETER AS INDICATED. THE PIPE SHALL HAVE A SINGLE ROW OF HOLES DIRECTED DOWNWARD (WITH THE EXCEPTION OF TWO ORIFICES PER PIPE THAT WILL BE DIRECTED UPWARD TO PROVIDE VENTING OF AIR). THE SIZE AND SPACING OF THE HOLES SHALL BE AS INDICATED IN THE DETAIL. THE DISTRIBUTION PIPE SHALL BE LAID LEVEL. ALL JOINTS AND CONNECTIONS SHALL BE SOLVENT CEMENTED.
- THE PRESSURE DISTRIBUTION PIPE SHALL BE PLACED ON SIX (6) INCHES OF 3/4 TO 1-1/2 INCH CLEAN, WASHED, CRUSHED STONE, LIMESTONE SHALL NOT BE USED. AFTER TESTING OF THE PUMP AND PRESSURE NETWORK, THE DISTRIBUTION PIPES SHALL BE COVERED WITH AN ADDITIONAL 2" OF CRUSHED STONE AND THE STONE COVERED WITH NONWOVEN GEOTEXTILE (MIRAFI 140N FABRIC, OR EQUAL).
- AFTER COMPLETION AND TESTING OF THE MOUND SYSTEM, THE AREA SHALL BE BROUGHT TO THE GRADE SPECIFIED ON THE PLANS WITH LOAMY SOIL. THE UPPER FOUR (4) INCHES OR WHICH SHALL BE TOPSOIL. THE AREA OVER AND AROUND THE WASTEWATER ABSORPTION SYSTEM SHALL BE GRADED WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE AND PREVENT PONDING OF WATER.

INSPECTION

- THE WORK MUST BE INSPECTED BY LAMOUREUX & DICKINSON CONSULTING ENGINEERS, INC. ESSEX JUNCTION, VERMONT TO ENSURE COMPLIANCE WITH THESE PLANS. LAMOUREUX & DICKINSON WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE DESIGN INTENT THAT THE PLANS CONVEY, AND FROM FAILURE TO HAVE BEEN NOTIFIED BY THE CONTRACTOR TO INSPECT THE WORKS AND TESTS IN PROGRESS.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR NOTIFYING THE DESIGNER AND THE TOWN FOR INSPECTION OF THE WASTEWATER SYSTEM AT APPROPRIATE STAGES OF

- CONSTRUCTION. THE REQUIREMENTS FOR CONTACTING THE DESIGNER ARE LISTED BELOW. THE CONTRACTOR SHALL ALSO DETERMINE THE TOWN'S REQUIREMENTS FOR INSPECTION.
- THE CONTRACTOR SHALL NOTIFY THE DESIGNER A MINIMUM OF 24 HOURS IN ADVANCE FOR INSPECTION OF EACH OF THE FOLLOWING ITEMS:
 - THE PLOWED SOIL BEFORE PLACEMENT OF MOUND SAND
 - A FULL OPERATIONAL TEST OF PUMP STATION FUNCTIONS
 - THE WASTEWATER ABSORPTION SYSTEM BEFORE COVERING
 - FINAL GRADING OVER THE WASTEWATER SYSTEM COMPONENTS

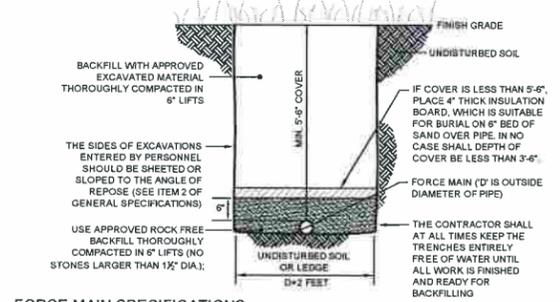
GENERAL SPECIFICATIONS

- UTILITIES INFORMATION SHOWN HEREON WERE OBTAINED FROM THE BEST AVAILABLE SOURCES AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON.
- THE CONTRACTOR SHALL NOTIFY "DIG SAFE" AT 8-1 P.M. PRIOR TO ANY EXCAVATION.
- LAMOUREUX & DICKINSON DOES NOT UNDERTAKE OR ASSUME ANY RESPONSIBILITY FOR SAFETY ON THE CONSTRUCTION SITE BUT DOES DEMAND THE CONTRACTOR THAT THEY SHOULD WORK IN STRICT COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT AND STRUCTURES NECESSARY TO DEVELOP THIS PROPERTY UNLESS OTHERWISE NOTED ON THESE PLANS. CONTRACTOR SHALL REMOVE ALL TRASH FROM SITE UPON COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS/HER OWN EXPENSE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR A SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY BY THE ENGINEER, THE CONTRACTOR WILL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE, OR SWEEP THE ROADWAY WITH A POWER BROOM AS DUST CONTROL.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4 INCHES OF TOPSOIL AND SHALL BE IMMEDIATELY SEEDED AND MULCHED IMMEDIATELY AFTER COMPLETION OF GRADING. ANY WORK PERFORMED AFTER OCTOBER 1 OF EACH YEAR SHALL BE STABILIZED WITH MULCH OR MATTING SUFFICIENT TO PREVENT EROSION AND SHALL BE IMMEDIATELY SEEDED AND REMULCHED OR REMATTED AS SOON AS WEATHER PERMITS IN THE SPRING.
- ALL SLOPES, DITCHES, AND DISTURBED AREAS SHALL BE GRADED SMOOTH AND BE FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.
- ALL BACKFILL AROUND STRUCTURES SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR.

MAINTENANCE

- ONCE PER YEAR, THE SEPTIC TANK SHALL BE INSPECTED BY A QUALIFIED PERSON FOR THE ACCUMULATION OF SLUDGE AND SCUM. THE TANK SHALL BE PUMPED IF THE DEPTH OF SLUDGE IS GREATER THAN 12 INCHES OR THE DEPTH OF SCUM IS GREATER THAN 8 INCHES, OR IS LIKELY TO BE SO BEFORE THE NEXT INSPECTION.
- ONCE EVERY 6 MONTHS, OR MORE OFTEN AS NEEDED, THE SEPTIC TANK EFFLUENT FILTER SHALL BE CLEANED BY HOSEING IT OFF INTO THE SEPTIC TANK.
- ONCE PER YEAR, THE PUMP STATION SHALL BE INSPECTED BY A QUALIFIED PERSON. PROPER FUNCTIONING OF THE PUMP, FLOATS, AND ALARM SHALL BE VERIFIED, AND ANY ACCUMULATED SOLIDS SHALL BE REMOVED.
- ONCE PER YEAR, THE ABSORPTION SYSTEM SHALL BE INSPECTED BY A QUALIFIED PERSON. THE PROPER FUNCTIONING OF THE SYSTEM SHALL BE VERIFIED AND ANY NECESSARY REPAIRS, OR OTHER MAINTENANCE, SHALL BE DONE PROMPTLY.
- DO NOT FLUSH OR DISCHARGE TO THE SEWAGE DISPOSAL SYSTEM ANY MATERIALS THAT ARE NON-BIODEGRADABLE OR SLOW TO DECOMPOSE, SUBSTANCES THAT CAN SLOW OR HALT BIOLOGICAL ACTIVITY, OR MATERIALS THAT CAN OVERLOAD THE TREATMENT CAPACITY OF THE SYSTEM. THIS INCLUDES, FOR EXAMPLE: FOOD WASTE, CAT LITTER, HIGH-STRENGTH PAPER TOWELS, FEMINE NAPKINS AND TAMPONS, CONDOMS, FATS AND OILS, PESTICIDES, DISINFECTANTS, STRONG ACIDS AND BASES, PAINTS, SOLVENTS, SOIL, AND SALTS. DO NOT USE GARBAGE DISPOSALS.
- EXCESS WATER USAGE WILL SIGNIFICANTLY REDUCE THE LIFE OF ANY SEWAGE DISPOSAL SYSTEM. WATER FIXTURES SHALL BE REGULARLY INSPECTED FOR LEAKS AND PROMPTLY REPAIRED IF NECESSARY. INSTALL AND MAINTAIN WATER-CONSERVING FIXTURES (TOILETS WITH MAX. 1.6 GALLON FLUSH AND SHOWERHEAD AND FAUCET AERATORS WITH MAX. 2 GALLON PER MINUTE FLOW).
- THIS WASTEWATER SYSTEM DESIGN INCLUDES ONE OR MORE STRUCTURES THAT MEET THE DEFINITION OF A "CONFINED SPACE" UNDER NO CIRCUMSTANCES SHALL A CONFINED SPACE BE ENTERED EXCEPT IN STRICT CONFORMANCE WITH OSHA REQUIREMENTS.

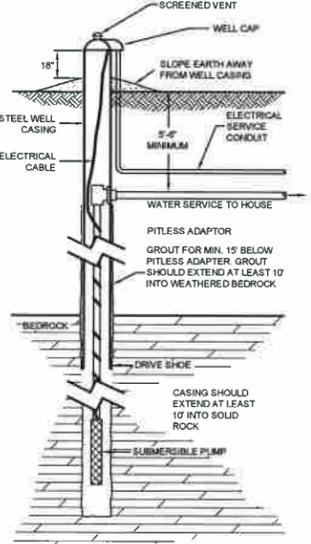
3 FORCE MAIN TRENCH
S-1 NOT TO SCALE



FORCE MAIN SPECIFICATIONS

- USE 2" SCH 40 PVC FORCE MAIN PIPE WITH THRUST BLOCKS AT ALL FORCE MAIN BENDS.
- FORCE MAIN TESTING:** THE CONTRACTOR SHALL FURNISH ALL FACILITIES AND PERSONNEL FOR CONDUCTING THE FOLLOWING TEST. THE PVC FORCE MAIN SHALL BE FILLED WITH WATER AND TESTED BY THE CONTRACTOR TO A MINIMUM PRESSURE OF 50 PSI AT THE HIGHEST POINT ALONG THE FORCE MAIN FOR TWO HOURS AND THE PRESSURE SHALL NOT VARY MORE THAN 5 PSI. THE NEW LINES SHALL NOT BE ACCEPTED IF THE LEAKAGE DURING THE TWO-HOUR TEST IS GREATER THAN THAT DETERMINED BY THE FOLLOWING FORMULA:
 $L = \frac{ND \sqrt{P}}{7,400}$
 WHERE L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR
 N = THE NUMBER OF JOINTS IN THE LENGTH OF PIPELINE TESTED
 D = THE NOMINAL DIAMETER OF THE PIPE IN INCHES
 P = THE AVERAGE TEST PRESSURE MEASURED IN LBS/IN²
 LEAKAGE IS DEFINED AS THE QUANTITY OF WATER THAT MUST BE SUPPLIED INTO THE NEWLY LAID PIPE TO MAINTAIN THE PRESSURE OF 50 PSI. THE CONTRACTOR SHALL AT ONCE LOCATE ANY LEAKS AND ACHIEVE THE ACCEPTABLE LIMIT AT NO EXTRA CHARGE TO THE OWNER.

6 TYPICAL DRILLED WELL
S-1 SCALE: 1" = 10'

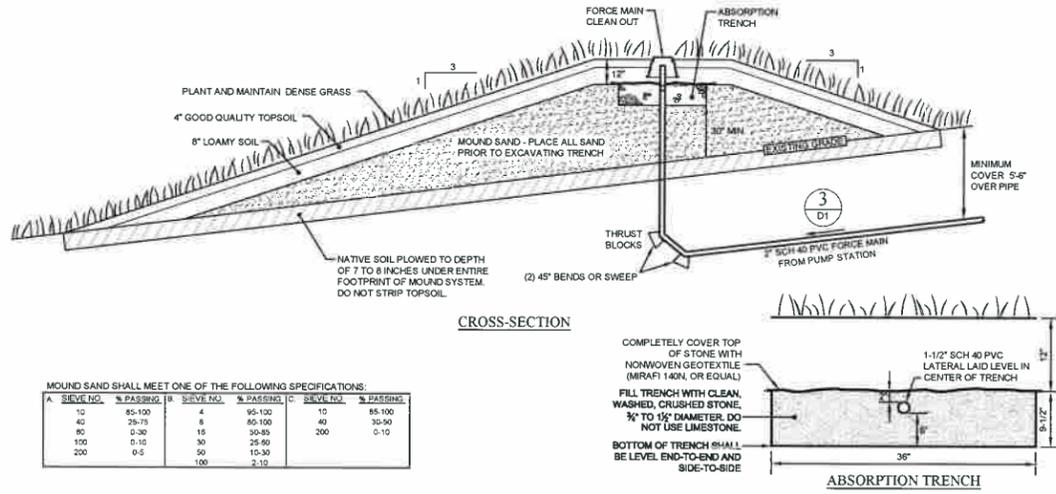


WATER SUPPLY BASIS OF DESIGN

- DRILLED WELL FOR A 2-BDRM HOUSE
- REQUIREMENTS
 - AVERAGE DAY DEMAND (DESIGN FLOW) = 280 GPD
 - MAXIMUM DAY DEMAND = 280 GPM/ 720 MIN = 0.39 GAL
 - INSTANTANEOUS PEAK DEMAND = 5 GPM
 - PUMP CAPACITY = 5 GPM
 - OPERATING PRESSURE = 30 TO 60 PSI
 - STORAGE - TO BE DETERMINED BASED ON WELL YIELD



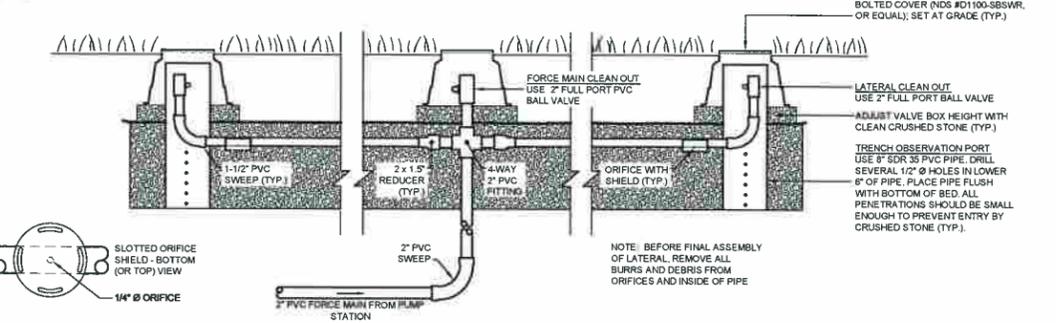
5 WASTEWATER ABSORPTION SYSTEM (CROSS-SECTION)
S-1 NOT TO SCALE



MOUND SAND SHALL MEET ONE OF THE FOLLOWING SPECIFICATIONS:

NO.	SIEVE NO.	% PASSING	NO.	SIEVE NO.	% PASSING
1	10	85-100	4	95-100	10
2	40	25-75	5	85-100	40
3	60	0-30	15	30-60	200
4	100	0-15	30	25-60	10
5	200	0-5	50	15-30	0-10
6	200	0-15	100	2-10	

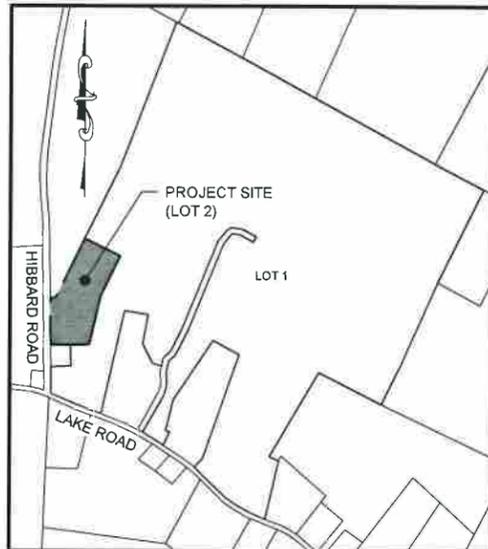
6 WASTEWATER ABSORPTION TRENCH LONGITUDINAL SECTION
S-1 NOT TO SCALE



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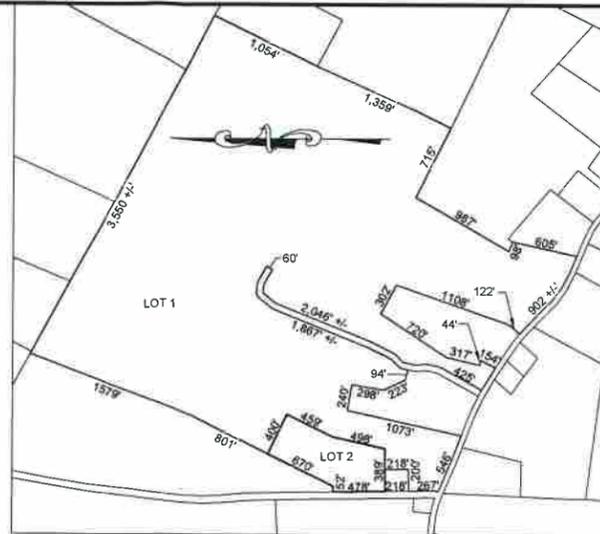
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Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review	
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Record Drawing	
Property of Rowley Family Real Estate Lake Road / Hibbard Road Milton, VT		Project No. 15056
Potable Water and Wastewater System Details and Specifications		Survey JMR
Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		Design BJT
Scale AS SHOWN		Drawn WEH/BJT
Sheet number D1		Checked DJG
		Date 9-15-2016



LOCATION PLAN

NTS



OVERALL PROPERTY SKETCH

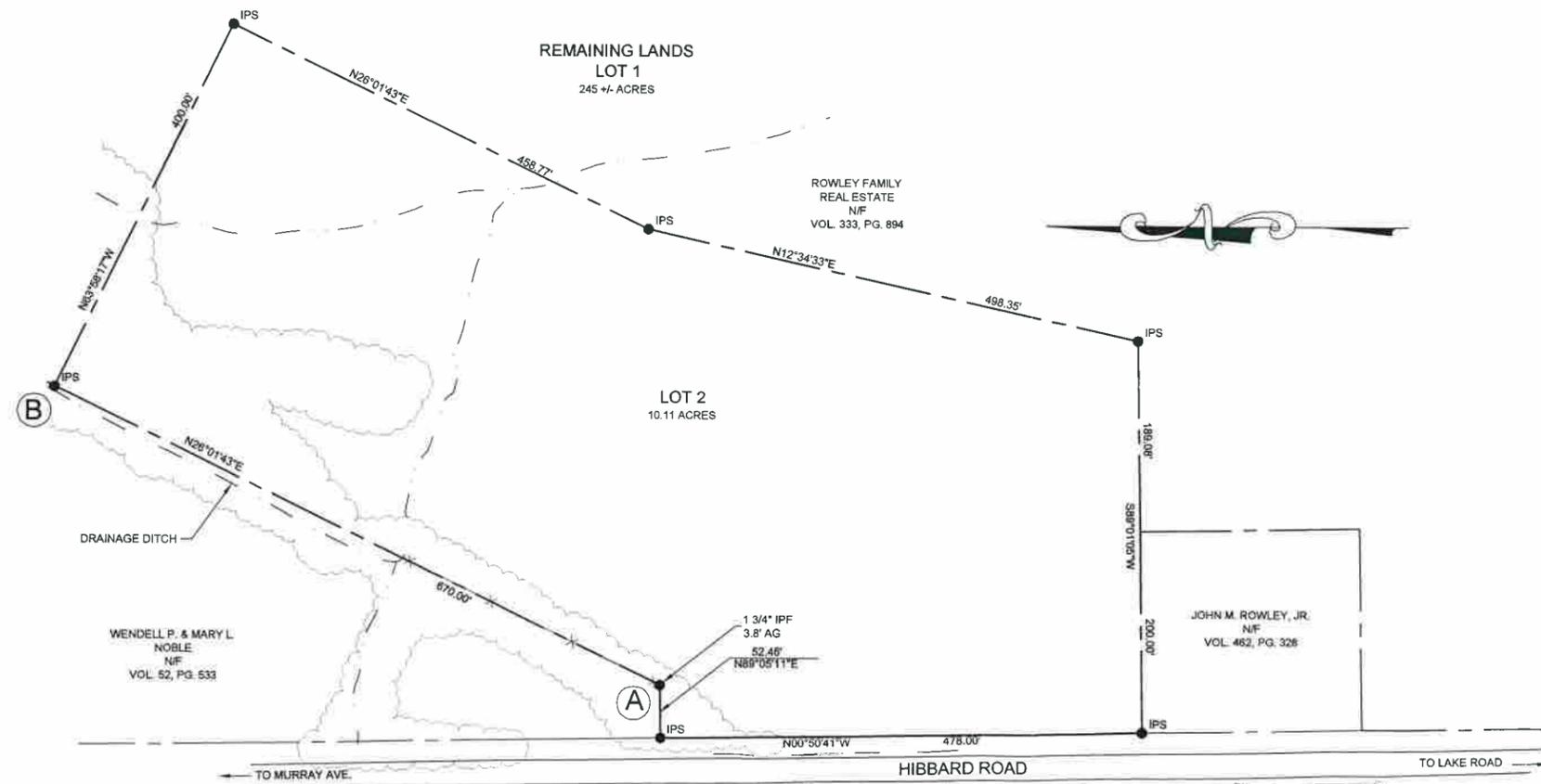
1" = 500'

LEGEND

- PROJECT BOUNDARY
- ABUTTING PROPERTY LINE
- IPF IRON PIPE FOUND
- PROPERTY CORNER, NO MARKER FOUND OR SET
- IPS IRON PIPE SET
- N/F NOW OR FORMERLY
- OHP OVERHEAD WIRE AND POLE
- REMAINS OF BARBED WIRE FENCE
- EXISTING SWALE
- EXISTING TREE LINE
- AG ABOVE GRADE

NOTES:

1. THIS PLAT WAS COMPILED FROM FIELD SURVEYS AND RECORD RESEARCH INCLUDING THE USE OF THE FOLLOWING PLATS:
 - A. "PLAN SHOWING PROPOSED 2 LOT SUB-DIV LAWRENCE & HELEN ROWLEY PROPERTY, LAKE ROAD, MILTON, VT" BY WARREN A ROSENSTEN, L.S., DATED SEPT., 1989 AS RECORDED IN SLIDE 77A OF THE TOWN OF MILTON LAND RECORDS.
 - B. "GOODWIN SUBDIVISION, PLAT OF SUBDIVISION OF LANDS FOR THOMAS GOODWIN, LAKE ROAD, MILTON, VERMONT" BY FITZPATRICK - LLEWELLYN, INC. DATED OCTOBER, 1989, AS RECORDED IN SLIDE 71B OF THE TOWN OF MILTON LAND RECORDS
 - C. "MINOR SUBDIVISION PLAT - LAND OF JOHN M. ROWLEY, JOHN M. ROWLEY, JR., LAWRENCE K. ROWLEY & THOMAS A. ROWLEY OF RECORD IN BOOK 123, PAGES 79 & 88 IN THE TOWNSHIP OF MILTON, CHITTENDEN COUNTY, VERMONT, PREPARED FOR JOHN M. ROWLEY, JR., & CATHERINE ROWLEY BY MUTRUX SURVEYS, DATED 3-21-03, AS RECORDED IN SLIDE 6E OF THE TOWN OF MILTON LAND RECORDS.
 - D. "PLANNED RESIDENTIAL DEVELOPMENT, TYPE A, TERELAND SUBDIVISION, THOMAS GOODWIN, BY BROOKS LAND SURVEYING, INC. DATED JULY 26, 1994, LAST REVISED FEBRUARY 24, 2001, AS RECORDED IN SLIDE 373B OF THE TOWN OF MILTON LAND RECORDS
 - E. "BOUNDARY LINE AGREEMENT, TWO LOT SUBDIVISION, FOR LANDS PROPOSED TO BE CONVEYED TO CONNOR ROWLEY, HIBBARD ROAD, MILTON VT" BY LAMOUREUX & DICKINSON CONSULTING ENGINEERS DATED 9-2-16
2. BEARINGS SHOWN ON THIS SURVEY ARE BASED ON GPS OBSERVATIONS RECORDED IN JULY AND AUGUST, 2016.
3. THIS PROPERTY MAY BE SUBJECT TO OTHER EASEMENTS AND/OR RIGHTS-OF-WAY.
4. MONUMENTATION FOUND IS AS NOTED ON PLAN. IRON PIPES SET ARE 1" DIAMETER WITH A PLASTIC CAP.
5. THE RIGHT-OF-WAY WIDTH FOR HIBBARD ROAD OF 66' IS BASED ON THE PLAN REFERENCED IN NOTE 1D ABOVE.
6. THE PURPOSE OF THIS PLAN IS TO SERVE BOTH AS A TWO LOT SUBDIVISION PLAN, AND AS A BOUNDARY LINE AGREEMENT PLAN.



WENDELL P. & MARY L. NOBLE
N/F
VOL. 52, PG. 533

1 3/4" IPF
3.8' AG
52.48'
N88°05'11"E

JOHN M. ROWLEY, JR.
N/F
VOL. 462, PG. 326

HANA H. TOWNE
REVOCABLE TRUST
N/F
VOL. 208, PG. 362

CARROLL E. TOWNE
REVOCABLE TRUST
N/F
VOL. 208, PG. 368

LANDOWNER
ROWLEY FAMILY REAL ESTATE
501 LAKE ROAD
MILTON, VT 05468

DEED REFERENCE: VOL. 333, PAGE 894

TOWN CLERK'S OFFICE
TOWN OF MILTON, VT, _____, 2016
RECEIVED FOR RECORD AT _____ O'CLOCK _____ M., AND
RECORDED IN SLIDE# _____
ATTEST: _____ TOWN CLERK

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

TO THE BEST OF MY KNOWLEDGE, THIS PLAT IS BASED ON INFORMATION ABSTRACTED FROM PERTINENT DEEDS AND/OR OTHER OFFICIAL RECORDS, AND MARKERS EVIDENT ON THE PROPERTY, AND CONFORMS WITH THE REQUIREMENTS OF 27 VSA §1403. DATED THIS ____ DAY OF _____, 2016

date	description	by
REVISIONS		
	LANDS PROPOSED TO BE CONVEYED TO CONNOR & MEGHANN ROWLEY HIBBARD ROAD, MILTON, VT	PROJECT NO. 15056
		SURVEY KMR
		DESIGN -
		DRAWN DLH
		CHECKED DLH/DJG
		DATE 9-13-16
		SCALE AS NOTED
		SHT. NO. PL2
LAMOUREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 Tel: 802-878-4450		

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Milton, Vermont



TECHNICAL ADVISORY COMMITTEE

Time: 3:30 p.m.
Place: Municipal Building Planning Department
Address: 43 Bombardier Road Milton, VT 05468
Contact: (802) 893-1186
Website: www.miltonvt.org

TECHNICAL ADVISORY COMMITTEE REVIEW SHEET

Development Review Board Meeting of Thursday, October 27, 2016

Date of Review: 10/2/16

Department: School

TAC Member: Bradshaw

Rowley Family Real Estate II, LLC, Owner/Connor & Meghann Rowley, Applicants -- Minor Conventional Subdivision Final Plan -- Lake Road & Hibbard Road

No concerns

Philip LeClaire, Owner/Applicant -- Minor Conventional Subdivision Sketch Plan -- 161 Westford Road

No concerns

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OCT 11 2016
Planning & Economic Development
Milton, Vermont

26 McMullen Road LLC, Owner/Applicant -- Subdivision Final Plat -- North Gardens Lane

No concerns



TECHNICAL ADVISORY COMMITTEE

Time: 3:30 p.m.
Place: Municipal Building Planning Department
Address: 43 Bombardier Road Milton, VT 05468
Contact: (802) 893-1186
Website: www.miltonvt.org

TECHNICAL ADVISORY COMMITTEE REVIEW SHEET

Development Review Board Meeting of Thursday, October 27, 2016

Date of Review: 10-11-16

Department: Recreation

TAC Member: Amy Richesnecker

Rowley Family Real Estate II, LLC, Owner/Connor & Meghann Rowley, Applicants -- Minor Conventional Subdivision Final Plan -- Lake Road & Hibbard Road

No comments

Philip LeClaire, Owner/Applicant -- Minor Conventional Subdivision Sketch Plan -- 161 Westford Road

No comments

RECEIVED

OCT 11 2016

Planning & Economic Development
Milton, Vermont

26 McMullen Road LLC, Owner/Applicant -- Subdivision Final Plat -- North Gardens Lane

No comments



TECHNICAL ADVISORY COMMITTEE

Time: 3:30 p.m.
Place: Municipal Building Planning Department
Address: 43 Bombardier Road Milton, VT 05468
Contact: (802) 893-1186
Website: www.miltonvt.org

TECHNICAL ADVISORY COMMITTEE REVIEW SHEET

Development Review Board Meeting of Thursday, October 27, 2016

Date of Review: 10.05.16

Department: Police

TAC Member: BRET VAN NOORDT

Rowley Family Real Estate II, LLC, Owner/Connor & Meghann Rowley, Applicants -- Minor Conventional Subdivision Final Plan -- Lake Road & Hibbard Road

NO COMMENTS OR CONCERNS.

Philip LeClaire, Owner/Applicant -- Minor Conventional Subdivision Sketch Plan -- 161 Westford Road

NO COMMENTS OR CONCERNS.

26 McMullen Road LLC, Owner/Applicant -- Subdivision Final Plat -- North Gardens Lane

NO COMMENTS OR CONCERNS.



PLANNING DIVISION

43 Bombardier Road
Milton, Vermont 05468-3205
(802) 893-1186
miltonvt.org

DEVELOPMENT REVIEW BOARD STAFF REPORT

Hearing Date: October 27, 2016	
Case No: DRB 2016-35	
Application(s): Minor Conventional Subdivision Sketch Plan	
Application Received: September 20, 2016	
Application Deemed Complete: September 20, 2016	
Staff Report Finalized: Friday, October 21, 2016	
Applicant(s): Phillip LeClaire 161 Westford Road Milton VT, 05468	Owner(s): Same
Engineer/License: David W. Fuqua/licensed designer 280B Red Oak Consulting, LLC 19 Warner Avenue, Essex Junction, VT 05452	Surveyor/License: None
E-911/Postal Address: 161 Westford Road	
Tax Map, Parcel(s): 12, 54	
School Parcel Account Number(s) (SPAN): 12043	
Deed(s): Book 184, Page 466	
Existing Size: 990,119 square feet	
Zoning District(s): Agricultural / Rural Residential (R5)	
Comprehensive Plan Planning Area/Sub-Area: East Milton Planning Area	
Location: Southern side of Westford Road, between Forest Road and Bernier Road.	

INTRODUCTION

Noticed Summary of Proposal: Philip LeClaire, Owner/Applicant requests **Minor Conventional Subdivision Sketch Plan** approval for a proposed 2-lot subdivision located at **161 Westford Road**. A pre-existing single family residence will remain on the property and a 4-bedroom single family residence is proposed for the newly created lot. The new home is proposed to be accessed off of Forest Road and serviced by on-site water and wastewater. The property is described as Tax Map 16, Parcel 54, SPAN # 12043, contains approximately 25 acres and is located in the "Agricultural/Rural Residential" (R5) Zoning District and "East Milton" Planning Area.

Comments: Jacob Hemmerick, Planning Director, and Jeff Castle, Town Planner, herein referred to as staff, have reviewed the application, materials and plans submitted and have the following comments.

Ethics Disclosure: Staff herein notes that there are no known direct or indirect conflicts of interests between Staff and the owner, applicant, or noticed interested parties.

Hearing Process/Procedure: Applicants and interested persons can learn more about the Development Review hearing process and procedure at <http://miltonvt.org/government/boards/drb.html>.

APPLICATION, JURISDICTION, NOTICE

Application: This matter comes before the Town of Milton Development Review Board (DRB) for Subdivision Sketch Plan approval. The application and its associated materials are maintained by the Town in the application file and are available for public inspection

Applicant(s): The application was submitted by Phillip LeClaire referred to hereafter as the "applicant".

Landowner(s): The property is owned by Philip LeClaire. All owners are signatories to this application.

Project Consultant(s): David W. Fuqua, of Red Oak Consulting, LLC, is a consultant for this project.

Application Submission: The application form was received by the Planning and Economic Development Department on September 20, 2016.

Application Completion: The application was deemed complete by Jeff Castle, Town Planner.

General Jurisdiction: Land development is subject to regulation by the Town of Milton pursuant to, but not limited to, the following: The Vermont Planning and Development Act (Act); The Town of Milton Zoning Regulations (ZR), effective January 5, 2015; the Town of

Milton Interim Zoning Regulations (IZR) effective February 26, 2015; and The Town of Milton Subdivision Regulations (SR), effective June 28, 2010.

Specific Subdivision Sketch Plan Jurisdiction: Specific subdivision jurisdiction attaches because SR130 states:

These subdivision regulations shall apply to all subdivisions of land, as defined herein, located within the Town of Milton. No land shall be subdivided within the Town of Milton until the subdivider shall obtain final approval of the proposed subdivision from the Development Review Board (DRB) and the final approved subdivision plat is recorded in the Milton Land Records.

Sketch Plan jurisdiction attaches because SR300 states:

For the purpose of classification and preliminary discussion, any subdivider of land shall, prior to submitting an application for subdivision approval, submit [. . .] a sketch plan of the proposed subdivision.

State Project Review: The applicant has obtained a State Project Review Sheet.

Regulatory Waivers Requested: No waivers are requested by the applicant.

Notice of Hearing: Public Notice was issued by the Department of Planning and Economic Development for the hearing according to Vermont Statutes Annotated Chapter 24 §4464.

Hearing: The Town Planner scheduled the hearing for October 27, 2016.

Site Visit: The DRB may schedule a site visit and recess the hearing to a subsequent meeting date if on-site observation would better inform the DRB's decision. Staff finds that site visits are always useful in visualizing the lay of the land.

1. The DRB may require that the applicant schedule a site visit prior to final plat hearing.

EXHIBITS

Application Exhibits: The following exhibits were submitted with the application and attached to the Staff Report:

- Subdivision Sketch Plan, LeClaire Two Lot Subdivision, by Red Oak Consulting, LLC, dated 9/14/2016

Staff Exhibits: The following exhibits from staff are attached to the Staff Report.

- Planning Commission letter of Denial for 2-lot subdivision sketch plan, dated September 6, 1991
- Technical Advisory Committee (TAC) School District Review Sheet dated 10/7/2016;
- TAC Police Review Sheet dated 10/5/2016;

- TAC Recreation Review Sheet dated 10/11/2016;

SITE, DISTRICT & AREA INFORMATION

Property Location: The subject property is located at 161 Westford Road and shown on Milton's Tax Map 16 as Parcel 54. The corresponding School Parcel Account Number (SPAN) is 12043.

Size/Area: According to the evidence presented, the subject parcel is approximately 22.73 acres or 990,119 square feet. The Assessor's Grand List records this property as approximately 25 acres.

Area Within Restrictive Easements/Right-of-Ways: The applicant stated that there is an 80 foot wide utility easement held by CVPS recorded in vol. 32/p. 415 with an area of 122,094 square feet, and a 20 foot wide utility easement CVPS and NET&T recoded in vol. 65/p. 468 with an area of 5,938 square feet. These easements are indicated on the plan provided.

Deed(s): The deed is recorded in Book 184, Page 466 of the Town of Milton Land Records to Phillip LeClaire, Grantee.

Zoning District(s): The site is located within the R5, Agricultural Rural Zoning District described on the Town of Milton Zoning Map, last amended August 22, 2011, on record and display at the Municipal Offices and available on the Town's website. The ZR341 states that the purpose of the R5 district is to:

Provide for continued AGRICULTURE, FORESTRY and open space USES together with compatible low density residential development. Large portions of the Town have been included in this area because of a combination of circumstances, including high agricultural potential, distance from community facilities, often severe limitations to development, and natural patterns of dispersed development.

Comprehensive Planning Area: Comprehensive Planning Area: The site is located within the East Milton Planning Area, as delineated in Map 2 of the 2013 Comprehensive Plan. The Plan states the following about this area (p.130):

This area has the highest potential for resource utilization and the highest concentration of natural resources in need of protection. It is recommended to encourage agricultural uses, especially diversification in agricultural uses.

Other resource utilization activities include forestry, mineral extraction and recreation. Natural resource protection is of particular concern in this area. Natural resources addressed in this plan include: mountains and ridgelines, lakes and rivers, floodplains, wetlands, high elevation areas, deer yards, endangered species habitats, and other unique natural areas.

It is the intent of this area that mostly low intensity planned unit residential developments occur, taking into account the need to provide for resource utilization activities and to protect natural resources. The encouragement of cluster developments and purchase of development rights through land trusts are important.

- Goal 9.13.1. Encourage a diversity of agricultural uses
- Goal 9.13.2. Encourage low density, well planned unit residential development, which enhances the character of the area.
 - Object 9.13.2.a. Develop standards to encourage low density, well planned unit residential developments that work with the natural features of the landscape.
- Goal 9.13.3. Promote the development of community activities for a range of ages.
 - Objective 9.13.3.a Encourage the creation of outdoor recreation facilities for children and adults.
- Goal 9.13.4. Encourage the preservation of historic sites.

Physical Characteristics/Natural Features: The site is mostly wooded with slight to moderate slopes. Mallets Creek traverses the property from east to west. No excavation, fill or grading is proposed.

Topography & Drainage (Plan Map 5): The property drains toward Mallets Creek, which bisects the property, and flows to the west.

Streams and Shoreline (Plan Map 6): The property contains Mallets Creek, a mapped stream. The stream is indicated on the submitted plan. The applicant stated that no alteration to any stream course is proposed. The proposed buildings are at least 50 feet from Mallets Creek. No vegetative clearing or alteration is proposed within 25 feet of Mallets Creek.

Wetlands (Map 6): The applicant states that there are no presumed mapped wetlands on the property.

Soil (Map 7): The applicant states that there are some statewide and prime agricultural soils present on the property and indicated on the sketch plan. Staff finds that the existing home is located within agricultural soils and no new disturbance is proposed that would impact agricultural soils.

Vegetation: The applicant states that an area on Lot 2 will be cleared for the construction of the proposed lot improvements totaling 39,000 square feet, or approximately 9% of the proposed Lot 2.

Habitat/Wildlife Crossings (Map 9): The applicant states that the property contains an area of habitat blocking. Staff finds that the habitat block is priority 8 and greater than 1600 acres. The portion of Forest Road where a new driveway is proposed is ranked as Most Important (5) rated wildlife road crossing. The applicant states that these factors have been taking into account because lot 2 is located on the fringe of the existing habitat block.

Historic Resources: The applicant states that there are no historic resources on the site. Staff finds that Milton's Historic Sites and Structures Survey confirms this finding.

Surrounding Use/Structures & Like Kind Quality: The site is surrounded by residential and agricultural uses. Staff finds that the lot is of "like kind".

SITE HISTORY

Background: The applicant has stated that a previous application has been denied due to the proposed access to Lot 2. Staff finds the following application denial:

- 1991, Planning Commission denial of a proposed 2-lot subdivision. Denial Attached.

Zoning Compliance: To staff's knowledge, the subject property does not have any Zoning Violations recorded in the Town of Milton Records, nor unresolved Zoning Enforcement action.

EXISTING AND PROPOSED USE/IMPROVEMENTS/LAND RESTRICTIONS

Existing/Proposed Use: The existing lot contains a single family dwelling use. The applicant proposes an additional single family dwelling on the additional lot.

Existing Improvements:

Buildings: The applicant has stated that the property contains an existing single family dwelling and an accessory workshop.

Utilities: Existing dwelling has existing municipal water service and on-site wastewater disposal.

Access: Property is currently accessed via Westford Road.

Proposed Improvements:

Buildings: Proposed single family dwelling located on the proposed lot 2.

Utilities: On-site drilled well and onsite wastewater is proposed for lot 2.

Access: Lot 2 is proposed to be accessed via a driveway connection to Forest Road, an existing private road. Staff finds that Forest Road exists within an existing 60' private access right-of-way.

SUBDIVISION REVIEW REGULATIONS

Article III, Sketch Plan

SR300, Sketch Plan Application Requirements: SR300 lists sketch plan requirements. Staff finds that these requirements have been met.

SR320, Subdivision Classification: This section requires that the DRB classify this application at Sketch Plan as a major or minor subdivision. A minor subdivision is defined as one

containing less than seven units. *This proposal takes one lot and results in two lots, making it a minor subdivision.*

SR330, Regulatory Conformance: SR 330 states that the DRB shall study the sketch plan to determine whether or not it conforms to, or would be in conflict with the Plan, the Zoning Regulations, and any other By-laws then in effect, and shall where it deems, necessary make specific recommendations for changes in subsequent submissions. The DRB may also require where necessary for the protection of the public health, safety and welfare that a minor subdivision comply with all or some of the requirements specified in these regulations for major subdivisions.

ZONING DISTRICT CONFORMITY

ZR620, Reduction of Lot Size: “No lot shall be so reduced in area so that the total area, setback areas, lot width, frontage, coverage, or other requirements of these regulations shall be other than herein prescribed for the district in which the lot is located.”

ZR 342, Dimensional Requirements: The table below shows the required dimensional requirements for the subject property's R5 Zoning District, as well as the existing and proposed compliance.

LOT 1	R5 Required	Existing	Proposed
Minimum LOT AREA (sq. ft.)	400,000 (9.18 acres)	990,119	473,933
Minimum Road FRONTAGE (linear ft.)	400	231.7 on Westford Road 1,384.8 on Forest Road	231.7 on Westford Road 650.5 on Forest Road
Minimum FRONT SETBACK (linear ft.)	35	35	35
Minimum SIDE SETBACK (linear ft.)	50	50	50
Minimum REAR SETBACK (linear ft.)	50	>50	>50
Maximum BUILDING COVERAGE (%)	40	0.2%	0.4%
Maximum LOT COVERAGE (%)	15	n/a	n/a

Staff finds that the proposed Lot 1 meets the dimensional requirements.

LOT 2	R5 Required	Existing	Proposed
Minimum LOT AREA (sq. ft.)	400,000 (9.18 acres)	--	516,186

Minimum Road FRONTAGE (linear ft.)	400	--	524.3 on Forest Road
Minimum FRONT SETBACK (linear ft.)	35	--	>50
Minimum SIDE SETBACK (linear ft.)	50	--	>50
Minimum REAR SETBACK (linear ft.)	50	--	>50
Maximum BUILDING COVERAGE (%)	40	--	0.7%
Maximum LOT COVERAGE (%)	15	n/a	n/a

Staff finds that the proposed frontage represents the property boundary fronting the existing 60' right-of-way easement. Staff finds that the proposed Lot 2 meets the dimensional requirements of Lot 2.

ZONING REGULATION CONFORMITY

ZR593.1, Driveways: Driveways shall be used to serve a maximum of three lots and no more than three dwelling units. Any excess in number of dwelling units must be served by a road and shall meet the requirements of either Section 591 or Section 592.

Staff finds that Forest Road, a private drive, may not serve more than three (3) dwelling units unless it meets the requirements for a Private Road, as defined in ZR592. Forest Road currently serves 3 dwelling units. The proposed lot 2, may not be served by Forest Road unless it meets the standard of ZR592.

2. An additional dwelling unit may not be accessed via Forest Road unless Forest Road meets the standards for a Private Road as defined in ZR592

ZR592, Private Roads: ZR592 states the standards that must be met for a private road. Staff finds that additional information is needed from the applicant to determine if the existing private drive meets these standards.

ZR592.7, Maximum Length: The maximum length of the Private right-of-way for any residential subdivision shall be one thousand linear (1000) feet in its entirety; this requirement may be waived by the Development Review Board if it is determined that the roadway proposed can provide safe access for emergency vehicles. This length shall be measured from the intersection with a public right-of-way.

Staff estimates that the distance from Westford Road to the end of the 60' access right-of-way is approximately 1,600 feet, in excess of the 1000 foot maximum for a private road.

3. The DRB may waive the maximum length requirement for a private right-of-way if it is determined that the roadway proposed can provide safe access for emergency vehicles.

SR340, Effect of Sketch Plan Approval:

4. Approval of sketch plan shall not constitute approval of a subdivision plat and is merely an authorization for the applicant to file a final plan application.

Article IV, Minor Subdivision Application,

SR400, Application

5. Within six (6) months of classification by the DRB of the sketch plan as a minor subdivision, the subdivider shall submit an application for approval of a subdivision plat. The application shall contain those items set forth in Section 610 of these regulations, and shall conform to the layout shown on the sketch plan plus any recommendations made by the DRB.

Article VII, Subdivision Planning Standards

Section 700, Standards of Evaluation: At final the DRB must be prepared to make findings related to the standards below. Sketch plan is a good opportunity to address any questions or concerns.

700.1, Suitability for Development: The DRB must find that “The land is suitable for subdivision or development. In making this determination it shall at least consider flooding, improper drainage, steep slopes, rock formations, adverse earth formations or topography, utility easements or other features which will be harmful to the safety, health, and general welfare of the present or future inhabitants of the subdivision and/or its surrounding areas.”

700.2, Preservation of Aesthetic Features: The DRB must find that, “the proposal includes due regard for the preservation and protection of existing aesthetic features such as trees, scenic points, brooks, streams, rock outcroppings, water bodies, other natural resources and historical resources.”

700.3, Sufficient Open Space for Recreation: The DRB must find that, “The proposal includes sufficient open space for recreation.”

700.4, Run-off and Erosion Control During & After Construction: The DRB must find that “The proposal includes adequate provision for control of runoff and erosion during and after construction.”

700.5, Compliance with Comprehensive Plan, Regulations & Bylaws: The DRB must find that “The proposed development is in compliance with the Milton Comprehensive Plan, Zoning Regulations and other By-Laws then in effect.” Staff has highlighted the Plan goals for this area above.”

700.6, Undue Water or Air Pollution: The DRB must find that “The proposed development will not result in undue water or air pollution. In making this determination it shall at least consider the elevation of land above sea level and its relation to the floodplains, the nature of the soils and subsoils and their ability to adequately support waste disposal; the slope of the land and its

effect on effluents; the availability of stream for disposal of effluents; and the applicable health and Vermont Department of Water Resources regulations.”

700.7, Compatibility with Surroundings: The DRB must find that “The proposed development is compatible with surrounding properties.”

700.8, Suitability for Proposed Density: The DRB must find that “The site is suitable for the proposed density.”

700.9, Pedestrian Safety: The DRB must find that “The proposal contains adequate provision for pedestrian traffic in terms of safety, convenience, access to points of destination and attractiveness.”

700.10, Municipal Service Burden: The DRB must find that “The proposed development will not place an unreasonable burden on the ability of local governmental units to provide municipal, educational, or governmental services and facilities.”

700.11, Sufficient Water/Wastewater: The DRB must find that “There is sufficient water available for the reasonably foreseeable needs of the proposed development.”

700.12, Highway Congestion: The DRB must find that “The proposed development will not cause unreasonable highway congestion or unsafe conditions with respect to the use of roads and highways in the Town.”

Article VIII, Required Improvements And Design Standards

SR800, Streets: The proposal includes no new streets.

SR810, Curbs, Sidewalks, and Pedestrian Access: The proposal includes no new curb cuts or pedestrian access. Staff finds no planning basis to require any pedestrian facilities in this location.

SR820, Outdoor Lighting: Lighting is not proposed. Staff does not recommend any lighting.

SR830, Shade Trees: Shade trees and plantings are not proposed. Staff does not recommend shade trees in this rural location.

SR840, Drainage: No change to drainage on the site has been proposed. This item will be further addressed pending Sketch Plan approval. According to SR840, “Where a subdivision is traversed by a water course or drainage way there shall be provided a storm water drainage easement of such width as to encompass the twenty five (25) year flood area of such water course, which easement shall be indicated on the Final Plat.”

6. The location of a storm water drainage easement of such width as to encompass the twenty five (25) year flood area of the water course within the subdivision shall be included in the Final Plat application.

SR850, Water System: The applicant has proposed an onsite drilled well for Lot 2. If approve the adequacy of the proposed water system can be further evaluated at Final.

SR860, Sewage Disposal: The applicant is proposing on-site sewage disposal with septic tank, pump station and absorption system. If approve the adequacy of the proposed sewage disposal system can be further evaluated at Final.

SR870, Utilities: No new utility easements have been proposed.

SR880, Layout: Staff finds the proposed lot layout to be slightly irregular but generally meets the layout requirements of SR880.

Technical Advisory Committee: The TAC had no comments or concerns at this time.

STAFF RECOMMENDATION

The Planning Staff recommends that the DRB **approve** the minor conventional subdivision sketch plan application, subject to the proposed conditions above.

Respectfully Submitted:



Jeffrey Castle, Town Planner.

COPIES TO:

- Applicant(s)
- Owners(s)
- Engineer/Surveyor

WHAT'S NEXT?

Decision: The DRB has 45 days from the close of the hearing to issue a written decision. The DRB aims to finalize decisions at the next available DRB meeting, but there are times when this is not possible and additional time is needed. The Applicant will receive a copy of the Decision by United States Postal Service Certified Mail; the official date of issuance is the date the Decision is mailed Certified. All other interested person who signed in on the hearing sign in sheet will also be mailed a copy of the Decision via USPS First Class Mail.

Decision Conditions: Approvals by the DRB almost always include conditions of approval that detail the next actions you must take to finalize the project. It's important that you read and understand the decision.

Appeal Rights: The DRB's decision can be appealed to the Environmental Division of the Vermont Superior Court by interested persons within **30 days** of issuance (10 VSA §8504).

Revocations: In addition to any other remedies provided for by law, approvals from the Development Review Board, whichever granted the permit or approval, for violation of these Regulations or the terms and conditions of the permit or approval. Omission or misstatement of any material fact by the applicant or agent on the application or at any hearing which would have warranted refusing the permit or approval shall be grounds for revoking the permit or approval at any time.



TOWN OF MILTON, VERMONT 05468

P. O. BOX 9, MAIN STREET

September 6, 1991

Mr. Patrick Leclair
161 Westford Road
Milton, VT 05468

RE: Leclair Subdivision-- Westford Road

Dear Mr. Leclair:

The Milton Planning Commission, at their regular meeting on September 3, met and reviewed the sketch plan of your proposed two lot subdivision.

At that meeting, the Planning Commission denied your sketch plan. The Commission took this action because of their concerns with adequacy and safety of the right-of-way proposed to serve this project. Specifically, the Commission denied your request for the following reasons:

1. The proposal would create another lot on the so-called Sherman right-of-way which already serves three lots without frontage on Westford Road. The Commission is required to approve any land development (including subdivision) where lots would be created on a right-of-way in lieu of frontage on a public road. The Commission adopted policies in order to guide its review of such requests. These policies state that "No right-of-way shall be created in lieu of frontage for more than two lots."
2. The so-called Sherman right-of-way has an unsafe intersection with Westford Road. The Police Department and the Town Planner in reviewing the proposed sketch plans indicated that sight distance along Westford Road was inadequate to this location. Increasing the potential use of the right-of-way will only increase the existing hazardous conditions.
3. The length of the dead end road is in excess of 1000 feet, causing concern for adequate access to the homes in this area, provision of emergency services without appropriate road maintenance, and efficient transportation facilities.

MANAGER'S OFFICE 802-893-6655
ZONING OFFICE 802-893-1186



TOWN OF MILTON, VERMONT 05468

P. O. Box 9, MAIN STREET

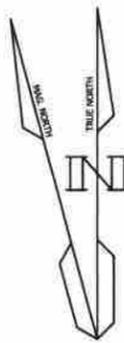
If you have any questions about the Commission's actions, or about the subdivision review process, please contact me at 893-1186.

Sincerely,

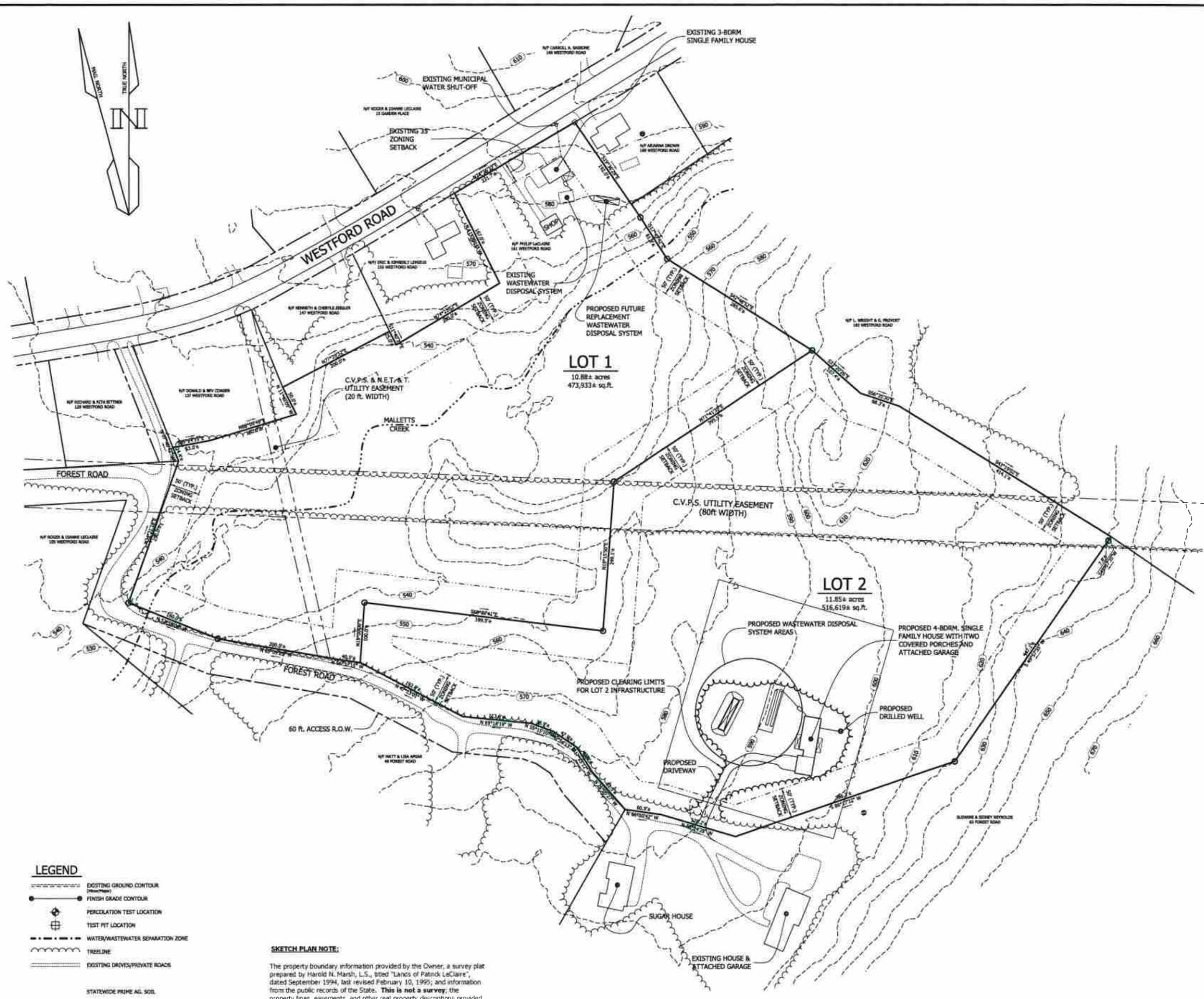
Joan Jurkowich
Town Planner

JJ/jfb

MANAGER'S OFFICE 802-893-6655
ZONING OFFICE 802-893-1186



LOCATION MAP
NOT TO SCALE



LANDOWNER/APPLICANT: PHILIP LeCLAIRE
ADDRESS: 161 WESTFORD ROAD
MILTON, VT 05468

PROPERTY INFORMATION:
DEED REFERENCE: VOL. 184, PG. 466
PARCEL ID#: 216054.000000
SPAN#: 396-123-12043
ZONING DISTRICT: AGRICULTURAL/RURAL
RESIDENTIAL (R5)

DISTRICT MINIMUM DIMENSIONAL REQUIREMENTS:
SECTION 340 AGRICULTURAL RURAL RESIDENTIAL (R5) DISTRICT
SECTION 344 Residential Dimensional Requirements

(2)	Minimum LOT AREA	400,000 sq. ft.
(2)	Minimum Road FRONTAGE	400 ft.
(3)	Minimum FRONT SETBACK	35 ft.
(4)	Minimum SIDE SETBACK	50 ft.
(5)	Minimum REAR SETBACK	50 ft.
(6)	Maximum BUILDING COVERAGE	40%
(7)	Maximum LOT COVERAGE	15%

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Planning & Economic Development
Milton, Vermont

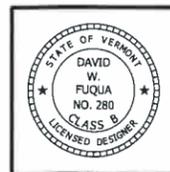
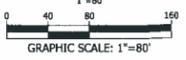
LEGEND

- EXISTING GROUND CONTOUR (20' INTERVAL)
- FINISH GRADE CONTOUR
- PERCOLATION TEST LOCATION
- TEST PIT LOCATION
- WATER/WASTEWATER SEPARATION ZONE
- TREELINE
- EXISTING DRIVES/PRIVATE ROADS
- STATEWIDE PRIME AG. SOIL
- ZONING SETBACK LIMIT

SKETCH PLAN NOTE:

The property boundary information provided by the Owner, a survey plat prepared by Harold N. Marsh, L.S., titled "Lands of Patrick LeClaire", dated September 1994, last revised February 10, 1995; and information from the public records of the State. This is not a survey; the property lines, easements, and other real property descriptions provided on this plan do not define legal rights or meet legal requirements for a land survey as described in 26 V.S.A. Section 2502(4), and shall not be used in lieu of a survey as the basis of any land transaction or establishment of any property right.
This plan shall be used for permitting only.

SITE PLAN



SUBDIVISION SKETCH PLAN
LeCLAIRE TWO LOT SUBDIVISION
WESTFORD ROAD & FOREST ROAD
MILTON, VERMONT

RED OAK CONSULTING, LLC
Water & Wastewater Design
Site Design & Layout
State & Local Permitting
Topographic Surveys
Stormwater Management
Construction Oversight
19 Warner Avenue
Essex Junction, Vermont 05452 (802) 355-6465

DATE:	NOTED	9/14/2016
DRAWN BY:	D.W.F.	PROJECT NO.: 16004
DESIGNED BY:	D.W.F.	APPROVED:
LAYOUT:	Site Plan	DRAFT
SHEET:	1	OF 1



TECHNICAL ADVISORY COMMITTEE

Time: 3:30 p.m.
Place: Municipal Building Planning Department
Address: 43 Bombardier Road Milton, VT 05468
Contact: (802) 893-1186
Website: www.miltonvt.org

TECHNICAL ADVISORY COMMITTEE REVIEW SHEET

Development Review Board Meeting of Thursday, October 27, 2016

Date of Review: 10/2/16

Department: School

TAC Member: Bradshaw

Rowley Family Real Estate II, LLC, Owner/Connor & Meghann Rowley, Applicants -- Minor Conventional Subdivision Final Plan -- Lake Road & Hibbard Road

No concerns

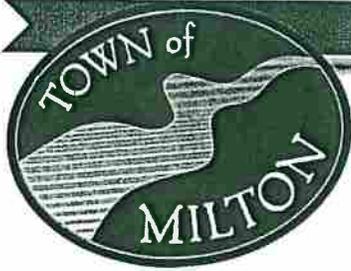
Philip LeClaire, Owner/Applicant -- Minor Conventional Subdivision Sketch Plan -- 161 Westford Road

No concerns

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OCT 11 2016
Planning & Economic Development
Milton, Vermont

26 McMullen Road LLC, Owner/Applicant -- Subdivision Final Plat -- North Gardens Lane

No concerns



TECHNICAL ADVISORY COMMITTEE

Time:..... 3:30 p.m.
Place:..... Municipal Building Planning Department
Address:..... 43 Bombardier Road Milton, VT 05468
Contact:..... (802) 893-1186
Website: www.miltonvt.org

TECHNICAL ADVISORY COMMITTEE REVIEW SHEET

Development Review Board Meeting of Thursday, October 27, 2016

Date of Review: 10-11-16

Department: Recreation

TAC Member: Kym Buckshhead

Rowley Family Real Estate II, LLC, Owner/Connor & Meghann Rowley, Applicants -- Minor Conventional Subdivision Final Plan -- Lake Road & Hibbard Road

No comments

Philip LeClaire, Owner/Applicant -- Minor Conventional Subdivision Sketch Plan -- 161 Westford Road

No comments

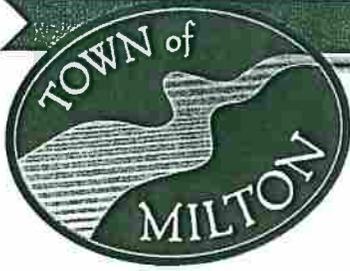
RECEIVED

OCT 11 2016

Planning & Economic Development
Milton, Vermont

26 McMullen Road LLC, Owner/Applicant -- Subdivision Final Plat -- North Gardens Lane

No comments



TECHNICAL ADVISORY COMMITTEE

Time:..... 3:30 p.m.
Place:..... Municipal Building Planning Department
Address:..... 43 Bombardier Road Milton, VT 05468
Contact:..... (802) 893-1186
Website: www.miltonvt.org

TECHNICAL ADVISORY COMMITTEE REVIEW SHEET

Development Review Board Meeting of Thursday, October 27, 2016

Date of Review: 10.05.16

Department: Police

TAC Member: BRET VAN NOORDT

Rowley Family Real Estate II, LLC, Owner/Connor & Meghann Rowley, Applicants -- Minor Conventional Subdivision Final Plan -- Lake Road & Hibbard Road

NO COMMENTS OR CONCERNS.

Philip LeClaire, Owner/Applicant -- Minor Conventional Subdivision Sketch Plan -- 161 Westford Road

NO COMMENTS OR CONCERNS.

26 McMullen Road LLC, Owner/Applicant -- Subdivision Final Plat -- North Gardens Lane

NO COMMENTS OR CONCERNS.



PLANNING DIVISION

43 Bombardier Road
 Milton, Vermont 05468-3205
 (802) 893-1186
 miltonvt.org

DEVELOPMENT REVIEW BOARD STAFF REPORT

Hearing Date: October 27, 2016	
Case No: DRB 2016-36	
Application(s): Final Plat/ Amendment	
Application Received: September 21, 2016	
Application Deemed Complete: October 12, 2016	
Staff Report Finalized: Friday, October 21, 2016	
Applicant(s): Robert L. Provost 29 Birch Street South Burlington, VT 05403	Owner(s): Same
Engineer/License: William Chesbrough/7472 Richard W. Bell Land Surveying, Inc. 297 S. Main St. Barre, VT 05461	Surveyor/License: None
E-911/Postal Address: 26 McMullen Road	
Tax Map, Parcel(s): Tax Map 29, Parcels 62-5, 62-6, 62-7, 62-8 and 62-9	
School Parcel Account Number(s) (SPAN): 14907, 14908, 14909, 14910, 14911	
Deed(s): Book 388, Page 173	
Existing Size: 2.33 total of all lots	
Zoning District(s): Old Towne Residential (R1)	
Comprehensive Plan Planning Area/Sub-Area: Eastern Transition Planning Sub-Area	
Location: Eastern side of McMullen Road, between Evergreen Drive and Railroad Street.	

INTRODUCTION

Warned Summary of Proposal: 26 McMullen Road LLC, Owner/Applicant, requests Subdivision Final Plat/Amendment approval in order to create non-conforming footprint lots pursuant to the Vermont Common Interest Ownership Act within a previously approved Minor Conventional Subdivision. No other changes are proposed. The properties are located on North Gardens Lane and described as Tax Map 29, Parcels 62-5, 62-6, 62-7, 62-8 and 62-9, and SPAN numbers 14908, 14909, 14910, 14911, respectively. The properties are located within the Old Towne Residential (R1) Zoning District and Town Core Planning Area.

Staff discloses a defect of warning here due to a change submitted by the applicant after the warning was issued. The proposal now also includes the merger of a Lot 4 and Lot 5 into a single lot identified as Lot 4. This is an amendment to the prior subdivision.

Comments: Jacob Hemmerick, Planning Director, and Jeff Castle, Town Planner, herein referred to as staff, have reviewed the application, materials and plans submitted and have the following comments. The DRB should note that this is the first such application of this kind that staff is aware of in the Town of Milton.

Ethics Disclosure: Staff herein notes that there is no known direct or indirect conflicts of interests between Staff and the owner, applicant, or noticed interested parties.

Hearing Process/Procedure: Applicants and interested persons can learn more about the Development Review hearing process and procedure at <http://miltonvt.org/government/boards/dr.html>.

APPLICATION, JURISDICTION, NOTICE

Application: This matter comes before the Town of Milton Development Review Board (DRB) for Subdivision Final Plat/ Amendment approval. The application and its associated materials are maintained by the Town in the application file and are available for public inspection

Applicant(s): The application was submitted by Robert Provost referred to hereafter as the "applicant".

Landowner(s): The property is owned by Robert Provost. All owners are signatories to this application.

Project Consultant(s): William Chesbrough of Richard W. Bell Land Surveying, Inc. is a consultant for this project.

Application Submission: The request from the applicant for DRB approval for the creation of a Common Interest Ownership Community with footprint lots was received by the Planning and Economic Development Department on September 21, 2016. Unless otherwise noted, the associated exhibits were received the same day.

General Jurisdiction: Land development is subject to regulation by the Town of Milton pursuant to, but not limited to, the following: The Vermont Planning and Development Act

(Act); The Town of Milton Zoning Regulations (ZR), effective January 5, 2015; the Town of Milton Interim Zoning Regulations (IZR) effective February 26, 2015; and The Town of Milton Subdivision Regulations (SR), effective June 28, 2010.

Warning of Hearing: Public warning was issued by the Department of Planning and Economic Development for the hearing according to Vermont Statutes Annotated Chapter 24 §4464.

Hearing: The Town Planner scheduled the hearing for October 27, 2016.

EXHIBITS

Application Exhibits: The following exhibits were submitted with the application and attached to the Staff Report:

- Letter requesting approval of Footprint Lot creation, from Bob Provost, dated September 20, 2016
- 26 McMullen Road, LLC, Residential Subdivision Wastewater Disposal Site Plan, by Richard W Bell Land Surveying, dated October 10, 2016
- 26 McMullen Road, LLC, Residential Subdivision Lot Layout Plan, by Richard W Bell Land Surveying, dated October 10, 2016

Staff Exhibits: The following exhibits from staff are attached to the Staff Report.

- TAC School District Review Sheet dated 10/7/2016;
- TAC Police Review Sheet dated 10/11/2016;
- TAC Recreation Review Sheet dated 10/5/2016;

COMMON INTEREST OWNERSHIP

Title 27A, the Uniform Common Interest Ownership Act § 1-106. Local ordinances, regulations, and building codes states:

(b) No zoning, building codes, subdivision ordinance, or other real property use law, ordinance, or regulation may prohibit the conversion of any building to the common interest community form of ownership.

This section of Statutes essentially means that the DRB may not block approval of this process. Nevertheless, the DRB is the sole authority to process these instruments (under the local Regulations). Review and approval also grants the Town an opportunity to clarify how the Town's Regulations will treat these lots, which is explained below.

DIMENSIONAL CONFORMITY OF FOOTPRINT LOTS

The applicant proposes to create four (4) footprint lot lines between the individual dwelling units including a limited common element which includes front, rear and side yard areas within previously approved dwelling units located on lot 6 and lot 3 of the previously approved subdivision. This action would create non-conforming lots with non-conformities including, but not limited to lot area, frontage, and zero setbacks between each unit on a lot. Therefore, these will not be considered individual lots for the Town of Milton Zoning Regulations. For the

purposes of the Town of Milton Zoning Regulations, the four footprint lots included in this proposal shall be considered two lots (Lot 6, containing footprint lot unit 101 and 102, and Lot 3, containing footprint lot unit 301 and 302) as approved previously. The applicant will be required to record a “Notice of Condition” to this effect which has been approved by the Town Attorney prior to recording the final plat plan.

1. All previous approvals and conditions of this subdivision shall remain in full effect except as amended herein.
2. For the purposes of the Town of Milton Zoning Regulation, the four (4) footprint lots proposed in this subdivision shall be considered two (2) lots (Lot 6, containing footprint lot unit 101 and 102, and Lot 3, containing footprint lot unit 301 and 302) as approved previously. The applicants shall record a “Notice of Condition” to this effect which has been approved by the Town Attorney prior to recording the final plat.

DIMENSIONAL CONFORMITY OF MERGED LOTS

The applicant also proposes the merger of the previously approved lots 4 and 5. The table below shows the required dimensional requirement for the subject property's Zoning District, as well as the existing and proposed compliance as understood by staff:

Zoning District - R1	Required	Existing (Lot 4)	Existing (Lot 5)	Merged Lots 4 & 5
Min. Lot Area	10,000 ft. ²	13,760 ft. ²	11,456 ft. ²	25,216 ft. ²
Min. Frontage	80 ft.	>80 ft.	>80 ft.	>80 ft.
Min. Front Setback	20 ft.	>20 ft.	>20 ft.	>20 ft.
Min. Side Setback	10 ft.	>10 ft.	>10 ft.	>10 ft.
Min. Rear Setback	10 ft.	>10 ft.	>10 ft.	>10 ft.
Max. Building Coverage	40%	<40%	<40%	<40%

Staff finds that the proposed merger is in conformance with the dimensional requirements of the R1 district.

SUBDIVISION FINAL REVIEW

3. This project shall be completed as shown on the plat submitted by the applicant and on file in the Town of Milton Planning Office.
4. The Final Plat shall be revised to show the changes below per ZR610:
 - a. The license number, seal and signature of a licensed land surveyor.
 - b. Space shall be reserved thereon for endorsement by all appropriate agencies, including a signature block for the Chair of the DRB.

Legal Escrow, SR910: The Applicant has submitted \$500 with the Final application to cover the legal review of the deeds and any other required legal instruments by the Town Attorney. Any funds not expended on the legal review will be refunded to the Applicant. The legal instrument

associated with this project include association instruments, notice of conditions, and new/revised deeds.

Legal Review, SR920:

5. The applicant shall submit any associated legal instruments for all impacted lots for review and approval by the Town Attorney. All requested revisions must be complete before the Plat may be recorded. Only instruments approved by the Town may be recorded in the Town of Milton Land Records.

SR940, Filing of Final Plat:

6. The applicant shall submit one paper or electronic .PDF version of the revised final Plat (any any associated plans) for review and approval by Staff prior to submitting the mylar. The Applicant shall also submit one full-sized (to scale) paper Final Plat (18x24) and one 11x17 paper plat depicting the requested changes, to be maintained in the Planning Office's application file.
7. The final Plat shall be submitted on mylar (18" x 24"), signed by the licensed surveyor and the Chair of the DRB, and recorded in the Town Clerk's Office within 180 days of the date of the DRB's Final Approval Decision per Subdivision Regulations Section 940. Final approval expires if not filed within 180 days, unless extended by the Zoning Administrator (an additional 90 days) for pending local or State approvals. In the event a subdivision plat is recorded without complying with this requirement, the plat shall be considered null and void and in violation.

SR950, Revisions: No changes, erasures, modifications, or revisions, other than those required by this Decision, shall be made on the Plat after approval unless a revised Plat is first submitted to the Department of Planning and Economic Development. In the event the subdivision plat is recorded without complying with this requirement, the Plat shall be considered null and void.

TECHNICAL REVIEW COMMITTEE

Technical Advisory Committee: The committee had no comments or concerns.

STAFF RECOMMENDATION

The Planning Staff recommends that the DRB **approve** the Final Plat application for the properties located on **North Gardens Lane** and described as Tax Map 29, Parcels 62-5, 62-6, 62-7, 62-8 and 62-9, and SPAN numbers 14907, 14908, 14909, 14910, 14911, subject to the conditions above.

Respectfully Submitted:



Jeffrey Castle, Town Planner

COPIES TO:

- Applicant(s)
- Owners(s)
- Engineer/Surveyor

WHAT'S NEXT?

Decision: The DRB has 45 days from the close of the hearing to issue a written decision. The DRB aims to finalize decisions at the next available DRB meeting, but there are times when this is not possible and additional time is needed. The Applicant will receive a copy of the Decision by United States Postal Service Certified Mail; the official date of issuance is the date the Decision is mailed Certified. All other interested person who signed in on the hearing sign in sheet will also be mailed a copy of the Decision via USPS First Class Mail.

Decision Conditions: Approvals by the DRB almost always include conditions of approval that detail the next actions you must take to finalize the project. It's important that you read and understand the decision.

Appeal Rights: The DRB's decision can be appealed to the Environmental Division of the Vermont Superior Court by interested persons within **30 days** of issuance (10 VSA §8504).

Revocations: In addition to any other remedies provided for by law, approvals from the Development Review Board, whichever granted the permit or approval, for violation of these Regulations or the terms and conditions of the permit or approval. Omission or misstatement of any material fact by the applicant or agent on the application or at any hearing which would have warranted refusing the permit or approval shall be grounds for revoking the permit or approval at any time.

RECEIVED

SEP 21 2016

Planning & Economic Development
Milton, Vermont

September 20, 2016

To: Milton Vermont Design Review Board

Attn: Jacob Hemmerick and Amanda Pitts

RE: 26 MCMULLEN ROAD 6 LOT SUBDIVISION

Request approval from Milton DRB to record new site plan/plat showing "COMMON INTEREST COMMUNITY with FOOTPRINT LOTS", along with additional conditions.

Jacob and Amanda,

Please let this letter serve as my request to record the new plat and conditions reflecting the modifications allowing for conveyance of units created on the lots as a COMMON INTEREST COMMUNITY with footprint lots.

Time is of the essence with regard to pending sales and ask that you facilitate this request at your earliest convenience.

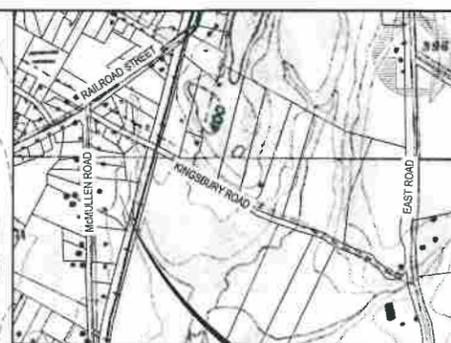
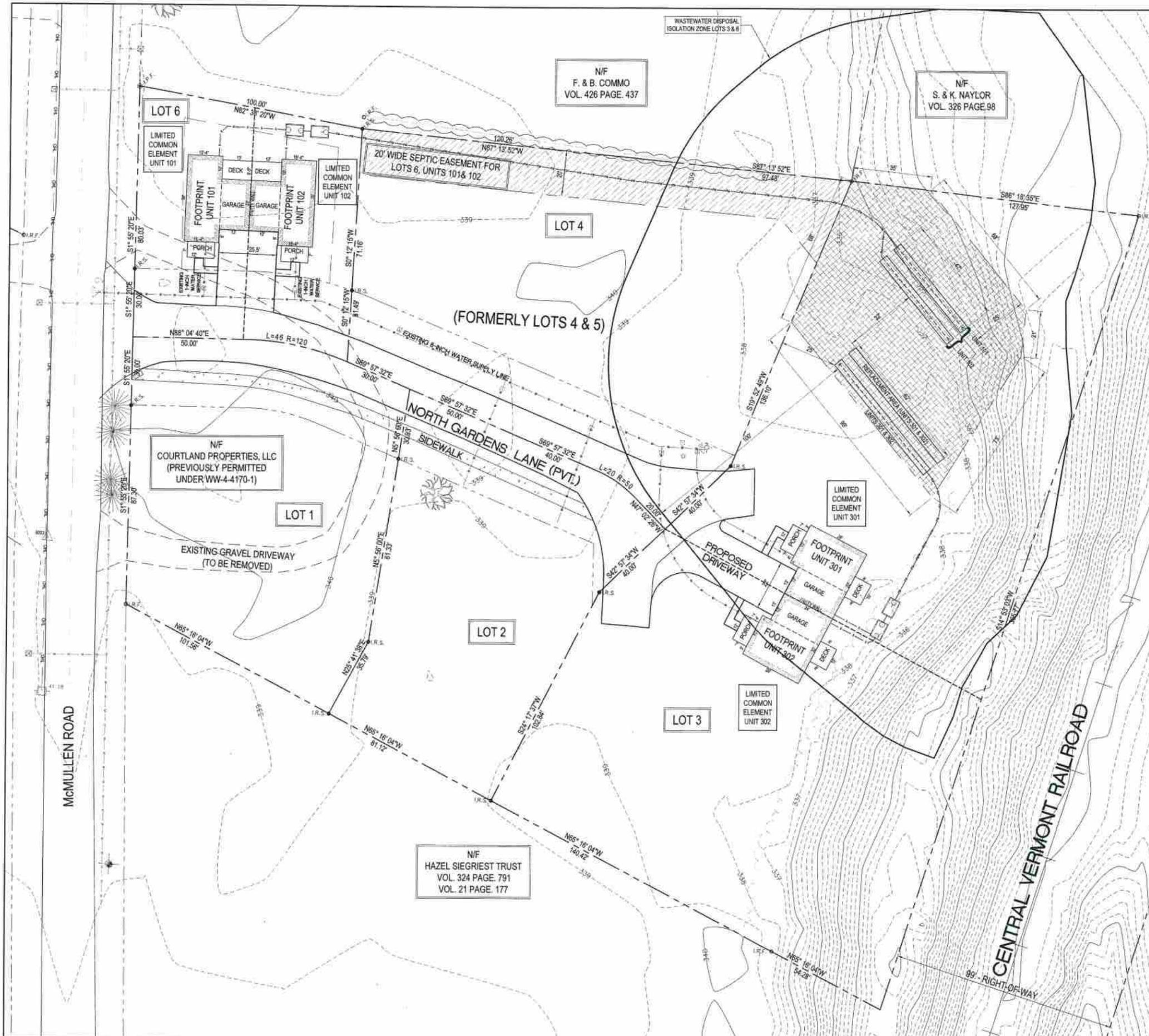
Thanks you for your efforts in this matter.

Respectfully,



Bob Provost

Agent for 26 MCMULLEN ROAD LLC



LEGEND

EXISTING

- PROPERTY LINE
- - - RIGHT OF WAY
- - - EDGE OF PAVEMENT
- - - EDGE OF GRAVEL
- TREE LINE
- 5' CONTOUR
- 1' CONTOUR
- WATER LINE
- OVERHEAD POWER LINE
- △ SURVEY CONTROL POINT
- IRON ROD FOUND
- IRON ROD SET
- BENCHMARK
- SEWER MANHOLE
- WELL
- CURB STOP
- WATER GATE
- HYDRANT
- UTILITY POLE
- GUY WIRE
- DECIDUOUS TREE
- CONIFEROUS TREE

THIS PLAN REFLECTS THE EXISTING BUILDING UNIT FOOTPRINTS ON LOTS 3 & 6, (NORTH GARDENS LANE, MILTON VT, TWO (2) UNIT FOOTPRINT COMMON INTEREST COMMUNITY, AS DECLARED BY 26 McMULLEN ROAD, LLC UNDER 27A V.S.A. § 101 ET SEQ.)

LOT DATA			IMPERVIOUS COVER	
LOT #	AREA (SQUARE FEET)	AREA (ACRES)		AREA (SQUARE FEET)
1	15,786	0.36	ROAD / DRIVEWAY	10,243
2	14,056	0.32	SIDEWALK	1,245
3	50,193	1.15	UNIT 101	1,064
UNIT 301	1,008	0.023	UNIT 102	1,064
UNIT 302	1,008	0.023	UNIT 301	1,008
4	25,216	0.58	UNIT 302	1,008
6	7,898	0.18	TOTAL	15,632
UNIT 101	1,064	0.025		
UNIT 102	1,064	0.025		
TOTAL	117,293	2.69		



RICHARD W. BELL
LAND SURVEYING, INC.
297 SOUTH MAIN ST
BARRE, VERMONT 05641
802-479-9262 C 802-793-5037
EMAIL: RBELL@RBELL-LANDSURVEYOR.COM

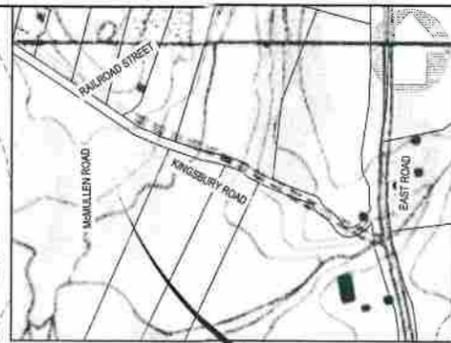
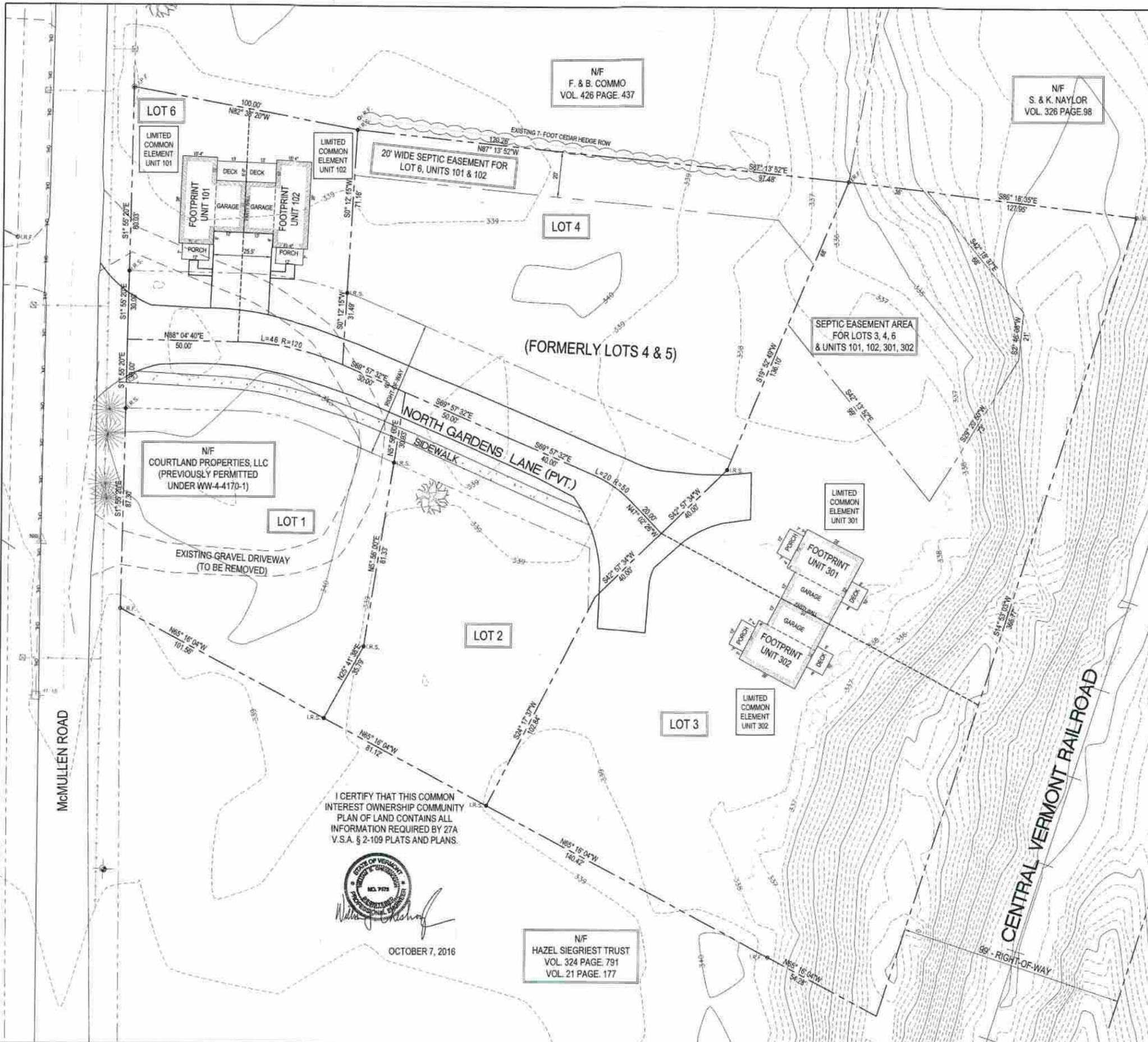
PROJECT # 061112
PROJECT MANAGER: WSC
DESIGN: WSC
DRAFTER: WSC
CHECKED BY: WSC
DATE: OCTOBER 10, 2016
SCALE: 1" = 20'

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Milton, Vermont



26 McMULLEN ROAD, LLC
26 McMULLEN ROAD
MILTON, VERMONT 05468
RESIDENTIAL SUBDIVISION
WASTEWATER DISPOSAL SITE PLAN

C2
DWG. #
SHEET 2 OF 2



LEGEND

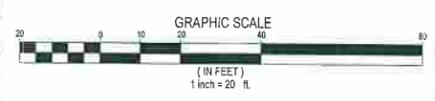
EXISTING:

- PROPERTY LINE
- RIGHT OF WAY
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- 5' CONTOUR
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1	15,786	0.36
2	14,056	0.32
3	50,193	1.15
UNIT 301	1,008	0.023
UNIT 302	1,008	0.023
4	25,216	0.58
6	7,898	0.18
UNIT 101	1,064	0.025
UNIT 102	1,064	0.025
TOTAL	117,293	2.69



I CERTIFY THAT THIS COMMON INTEREST OWNERSHIP COMMUNITY PLAN OF LAND CONTAINS ALL INFORMATION REQUIRED BY 27A V.S.A. § 2-109 PLATS AND PLANS.

Nathan J. Schuch
 OCTOBER 7, 2016



RICHARD W. BELL
 LAND SURVEYING, INC.
 357 SOUTH MAIN ST.
 BARRRE, VERMONT 05641
 802-479-9282 C 802-783-5037
 EMAIL: RBELL@RBELL-LANDSURVEYING.COM

PROJECT # 061112
 PROJECT MANAGER: WSC
 DESIGN: WSC
 DRAFTER: WSC
 CHECKED BY: WSC
 DATE: OCTOBER 10, 2016
 SCALE: 1" = 20'

REVISIONS

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 OCT 12 2016
 Planning & Economic Development
 Milton, Vermont

26 McMULLEN ROAD, LLC
 26 McMULLEN ROAD
 MILTON, VERMONT 05468
 RESIDENTIAL SUBDIVISION
 LOT LAYOUT PLAN

C1

DWG. #
 SHEET 1 OF 2



TECHNICAL ADVISORY COMMITTEE

Time: 3:30 p.m.
Place: Municipal Building Planning Department
Address: 43 Bombardier Road Milton, VT 05468
Contact: (802) 893-1186
Website: www.miltonvt.org

TECHNICAL ADVISORY COMMITTEE REVIEW SHEET

Development Review Board Meeting of Thursday, October 27, 2016

Date of Review: 10/2/16

Department: School

TAC Member: Bradshaw

Rowley Family Real Estate II, LLC, Owner/Connor & Meghann Rowley, Applicants -- Minor Conventional Subdivision Final Plan -- Lake Road & Hibbard Road

No concerns

Philip LeClaire, Owner/Applicant -- Minor Conventional Subdivision Sketch Plan -- 161 Westford Road

No concerns

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OCT 11 2016
Planning & Economic Development
Milton, Vermont

26 McMullen Road LLC, Owner/Applicant -- Subdivision Final Plat -- North Gardens Lane

No concerns



TECHNICAL ADVISORY COMMITTEE

Time:..... 3:30 p.m.
Place:..... Municipal Building Planning Department
Address:..... 43 Bombardier Road Milton, VT 05468
Contact:..... (802) 893-1186
Website: www.miltonvt.org

TECHNICAL ADVISORY COMMITTEE REVIEW SHEET

Development Review Board Meeting of Thursday, October 27, 2016

Date of Review: 10-11-16

Department: Recreation

TAC Member: Aym Truchesshead

Rowley Family Real Estate II, LLC, Owner/Connor & Meghann Rowley, Applicants -- Minor Conventional Subdivision Final Plan -- Lake Road & Hibbard Road

No comments

Philip LeClaire, Owner/Applicant -- Minor Conventional Subdivision Sketch Plan -- 161 Westford Road

No comments

RECEIVED

OCT 11 2016

Planning & Economic Development
Milton, Vermont

26 McMullen Road LLC, Owner/Applicant -- Subdivision Final Plat -- North Gardens Lane

No comments



TECHNICAL ADVISORY COMMITTEE

Time: 3:30 p.m.
Place: Municipal Building Planning Department
Address: 43 Bombardier Road Milton, VT 05468
Contact: (802) 893-1186
Website: www.miltonvt.org

TECHNICAL ADVISORY COMMITTEE REVIEW SHEET

Development Review Board Meeting of Thursday, October 27, 2016

Date of Review: 10.05.16

Department: Police

TAC Member: BREU VAN NOORDT

Rowley Family Real Estate II, LLC, Owner/Connor & Meghann Rowley, Applicants -- Minor Conventional Subdivision Final Plan -- Lake Road & Hibbard Road

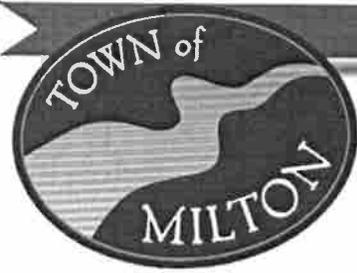
NO COMMENTS OR CONCERNS.

Philip LeClaire, Owner/Applicant -- Minor Conventional Subdivision Sketch Plan -- 161 Westford Road

NO COMMENTS OR CONCERNS.

26 McMullen Road LLC, Owner/Applicant -- Subdivision Final Plat -- North Gardens Lane

NO COMMENTS OR CONCERNS.



DEVELOPMENT REVIEW BOARD

Meeting Type:.....Regular
 Date:.....Thursday, October 13, 2016
 Time:.....7:00 p.m.
 Place:.....Municipal Building Community Room
 Address:.....43 Bombardier Road Milton, VT 05468
 Contact:.....(802) 893-1186
 Website:www.miltonvt.org

MEETING MINUTES

1. CALL TO ORDER

The Chair called the meeting to order at 7:08 p.m.

2. ATTENDANCE

Members Present: Bruce Jenkins, Chair; David Conley, Vice-Chair; Julie Rutz.
Members Absent: Henry Bonges, Clerk; Bob Brisson.
Staff Present: Jeff Castle, Town Planner
Public Present: Shaun Brooks; Mary and Reg Godin; David Phinney.

3. AGENDA REVIEW

Staff added to the Agenda the review of a Municipal Planning Grant that the Planning Director is preparing. The Chair acknowledged this would be reviewed under "Other Business."

4. PUBLIC FORUM

None.

5. OLD HEARINGS/BUSINESS

5(A). Bylaw Review & Goals

TABLED by UNANIMOUS consent until all Board members are present.

6. NEW HEARINGS/BUSINESS

6(A). Joanne Duffy/Owner & Applicant - Minor Conventional Subdivision Sketch Plan - Duffy Road

The Chair read the following summary to open the hearing:

The applicant, Joanne Duffy, requests Sketch Plan approval for a proposed 2-lot Minor Conventional Subdivision pursuant to the Town of Milton Zoning & Subdivision Regulations. The property is described as 54, 124, and 162 Duffy Road; Tax Map 8, Parcel 24; and SPAN 14229. The property is owned by the applicant and contains approximately 578 acres within the R5 (Agricultural/Rural Residential) and FC (Forestry Conservation) Zoning Districts and the East Milton Planning Area.

The Chair administered the Oath to Interested Persons. Representing the Applicant(s) were Stephen Tetreault of TDH Surveying-Design LLC and Joanne Duffy, hereafter referred to as "applicant(s)."

1 In response to the following numbered items within the Staff Report:

- 2 1. The applicant stated he'd forwarded an email from Jeff McMahon, Permit Specialist for
3 the State of Vermont, to the Town Planner which stated no Project Review Sheet (PRS)
4 was necessary because no construction is currently proposed. Staff confirmed receipt of
5 the email.
- 6 2. The applicant agreed that the DRB may require a site visit prior to final plat hearing.
- 7 3. The applicant agreed the final plat shall show the location & width of all easements.
- 8 4. The applicant agreed that the final plat will accurately depict the FC Zoning District
9 dimensional requirements as listed in ZR484.
- 10 5. The applicant agreed that final plat shall show the mapped streams on the lots.
- 11 6. The applicant stated that there are two other rental homes on Lot 1. The Chair asked how
12 long they'd been there; the applicant replied that estimates put one as being built in the late
13 1800's and the other in the late 1970's.
- 14 7. The applicant stated that the final plat and application shall show and describe lot 1 as
15 excluding that portion which is west of Duffy Road, which – under Vermont Law – is
16 treated as an effectively subdivided and conveyable lot.
- 17 8. The applicant agreed that at Final Plan stage, the dimensional conformity tables will be
18 revised to accurately describe the existing and proposed dimensions.
- 19 9. The applicant agreed that final plans shall show the dimensions between each pin in
20 order to enable the DRB to evaluate the frontage and size of the lot. Further, the
21 applicant stated they are already included on the sketch plan, and clarified their
22 location.
- 23 10. The applicant agreed that approval of sketch plan shall not constitute approval of a
24 subdivision plat and is merely an authorization for the applicant to file a final plan
25 application.
- 26 11. The applicant agreed that, within six (6) months of classification by the DRB of the sketch
27 plan as a minor subdivision, to submit an application for approval of a subdivision plat,
28 that the application shall contain those items set forth in Section 610 of these regulations,
29 and shall conform to the layout shown on the sketch plan plus any recommendations
30 made by the DRB.
- 31 12. The applicant agreed that the final plat shall show the locations of the existing on-site
32 water and wastewater systems and certify that there are suitable replacement locations
33 on the newly created lots. The applicant stated they'd obtained a state wastewater
34 permit a couple of days prior.

35
36 MOTION by Conley to APPROVE the Minor Conventional Subdivision Sketch Plan at 54, 124 &
37 162 Duffy Road, subject to the conditions discussed above. SECOND by Rutz. Unanimously
38 APPROVED.

39
40 Hearing no further questions or comments, the Hearing was closed at 7:22 p.m.

41
42 **6(B). Bove Brothers Milton LLC/Applicants & 17 Catamount Lane LLC/Owners - Referral of**
43 **Zoning Permit – 8 Catamount Drive**

44
45 The Chair read the following summary to open the hearing:
46

1 Bove Brothers Milton LLC/Applicants & 17 Catamount Lane LLC/Owners request
2 Development Review Board approval to add a third business sign to the property
3 located at 8 Catamount Drive, pursuant to the Town of Milton Zoning Regulations
4 Section 831.3(3). The sign is proposed to be approximately 35" x 41" and is to be
5 building-mounted, above the main door entrance. The subject property is described as
6 Tax Map 3, Parcel 8-17 and SPAN 13974; contains approximately 6.82 acres and is
7 located within the General Industrial (I2) Zoning District and Catamount Planning Area.
8

9 The Chair administered the Oath to Interested Persons. Representing the Applicant(s) was Mark
10 Bove, hereafter referred to as "applicant(s)." The applicant gave a brief description of the proposal
11 and noted that it had changed since the submittal of the Zoning Permit: the sign above the entrance
12 door is now proposed to be larger than was previously proposed.
13

14 The following numbered items within the Staff Report were read aloud; no comments were
15 necessary:
16

- 17 1. The DRB shall consider the aesthetic impact of the proposed third sign, including the
18 standards of ZR831.3(4) listed above.
- 19 2. A Zoning Permit is required prior to construction and an associated Certificate of
20 Compliance is required after construction is complete.
21

22 MOTION by Rutz to APPROVE the Bove Brothers Milton, LLC application for a third business
23 sign permit located at 8 Catamount Drive; SECOND by Conley. Unanimously APPROVED.
24

25 The applicant asked if he was able to begin work on the sign at this point. Staff explained he will
26 need to amend the permit that was submitted because the size of the sign had changed, that the
27 Zoning Administrator still needed to approve the permit, and that there is a 15-day Appeal on
28 any approved zoning permit.
29

30 Hearing no further questions or comments, the Hearing was closed.
31

32 8. PLANNING STAFF REPORT

33 Staff shared a brief update of the Board's upcoming meetings. There are three hearings
34 scheduled for October 27, 2016, including: a 2-lot Minor Conventional Subdivision Final plan, a
35 2-lot Minor Conventional Subdivision Sketch plan, and Final Plan approval to create footprint
36 lots. The subsequent meeting, scheduled for November 10, 2016, also has three hearings: a
37 Boundary Line Adjustment, Minor Conventional Subdivision Sketch plan, and an Appeal of the
38 Zoning Administrator's Decision.
39

40 Staff mentioned that the Planning Department has been considering quarterly trainings for the
41 DRB and Planning Commission (PC). Staff gauged interest in this among the DRB members,
42 and asked for feedback regarding topics of interest.
43

44 Staff presented information on a Municipal Planning Grant (MPG) that the Planning Director
45 has been working on. The primary goal would be updating the Public Works specifications so
46 that they are better integrated with the Zoning and Subdivision Regulations.

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9. MINUTES

9(A). Minutes of September 22, 2016 (incorrectly noted on the Agenda as 9/8/16)

MOTION by Rutz to APPROVE the Minutes of September 22, 2016 as written; SECOND by Conley. Motion APPROVED.

10. DELIBERATIVE SESSION

None.

11. ADJOURNED

MOTION by Conley to adjourn at 7:57 p.m.; SECOND by Rutz. Unanimously APPROVED.

Minutes approved by the Commission this _____ day of _____, 2016.

Bruce Jenkins, Chair _____ /kt

Draft filed with the Town Clerk this _____ day of _____, 2016.

Filed with the Town Clerk this _____ day of _____, 2016.